

# **Jacksonville Historic Preservation Commission**



**September 25, 2024**

**City of Jacksonville**  
**Ed Ball Building, 1<sup>st</sup> Floor - Room 1002**  
**214 North Hogan Street - Jacksonville, Florida 32202**



A NEW DAY.

## **Jacksonville Historic Preservation Commission Meeting**

**Wednesday, September 25, 2024 at 3:00 PM**

### **Members:**

Michael Montoya, Chair  
Ethan Gregory, Vice Chair  
William Hoff, Secretary  
Julia Epstein  
Maximilian Glober  
Becky Morgan

## **AGENDA**

**RULE 4.505 DISRUPTION OF MEETING** No member of the audience shall applaud nor make any noise or remarks that are audible to the Committee that would indicate approval or disapproval of anything being discussed. Any disregard of this rule may result in removal by the Security.

**REQUEST TO SPEAK:** 1. Fill out a speaker card.  
2. Sign in if you are going to speak.  
3. Read the rules on the back of the card.  
4. Place card in tray labeled "Speaker Cards".

**BREAKS:** Will be taken at 5 PM, 7 PM and every two hours thereafter until the close of the meeting.

**NOTE:** The next regular meeting will be held Wednesday, October 23, 2024.

**COMMENTS FROM THE PUBLIC.** Comments from the public shall be limited to no more than three minutes per person and no person shall be allowed to give or transfer his/her time to speak to another person.

**ADDRESSING THE BOARD/COMMITTEE.** At public hearings required by law or fixed by the Board/Committee, the presiding officer shall extend the floor to proponents and opponents of the subject matter of the public hearing, and those filing written requests or speakers cards shall be heard prior to other persons who appear at the hearing. Each person addressing the Board/Committee shall proceed to the place assigned for speaking, give his/her name in an audible tone of voice for the records, (if the person has not filled out a speaker's request card and returned it to the Board/Committee staff before addressing the Board/Committee, the person shall also give his/her address in an audible tone of voice for the records), and limit his/her comments to three (3) minutes, unless further time is granted by the Board/Committee. All remarks shall be addressed to the Board/Committee as a body and not to any member thereof. No person other than a Board/Committee Member or the person having the floor shall be permitted to enter into any discussion, either directly or through a member of the Board/Committee, without the permission of the presiding officer. All questions to the Board/Committee shall be directed through the presiding officer.



Speakers may appeal the decision of the Commission on an item they addressed. Appeals shall be made to the City Council within twenty-one (21) days of the date of the Final Order in the matter. To appeal, file a Notice of Appeal with the Legislative Services under §307.203, Ord. Code. Failure to file a Notice with the Legislative Services Division within the time prescribed waives the right to appeal the Order.

**A. Call to Order/Verification of Quorum**

1. Submittal of Speaker's Cards
2. Breaks at 5 PM, 7 PM and every two hours thereafter until the close of the meeting
3. Approval of Minutes from August 28, 2024

**B. Deferred Items**

1. **COA-23-28339** (3664 Richmond Street)
2. **COA-23-29186** (2799 Selma Street)
3. **COA-24-31092** (3633 Richmond Street)
4. **COA-24-31124** (3629 Richmond Street)
5. **COA-24-30961** (1135 Walnut Street)
6. **COA-24-30828** (3331 St. Johns Avenue)
7. **COA-24-31005** (2749 Downing Street)
8. **COA-24-31169** (2351 Riverside Avenue)
9. **REHAB-24-03** (157 8th Street, East)

**C. Consent Agenda**

1. **COA-24-30395**  
District: Springfield - 2050 Liberty Street  
Applicant: Mitch Askelson, JWB Real Estate, LLC  
Owner: Hoose Homes and Investments, LLC  
Request: New Construction  
Staff Recommendation: Approve With Conditions
2. **COA-24-30928**  
District: Riverside/Avondale - 3733 Pine Street  
Applicant: Samuel Andrade, Oasis Landscaping, LLC  
Owner: Rick Alan Ostrofsky  
Request: Alterations - Hardscaping  
Staff Recommendation: Approve With Conditions
3. **COA-24-30969**  
District: Riverside/Avondale - 3510 Oak Street  
Applicant: Lyle Tunsill, Better Builders of Jacksonville, Inc.  
Owner: Greg Hewitt  
Request: New Construction - Addition  
Staff Recommendation: Approve With Conditions

**4. COA-24-31157**

District: Riverside/Avondale - 3380 Knight Street  
Applicant: Jeff Martin, Greystone Construction Management, Inc.  
Owner: Thomas Baird  
Request: New Construction - Addition  
Staff Recommendation: Approve With Conditions

**5. COA-24-31176**

District: Riverside/Avondale - 1254 Hollywood Avenue  
Applicant: Stephen Harper  
Owner: Benjamin Alwood  
Request: Alterations - Fence  
Staff Recommendation: Approve With Conditions

**6. COA-24-31177**

District: Riverside/Avondale - 1260 Hollywood Avenue  
Applicant: Stephen Harper  
Owner: Keith Walters  
Request: Alterations - Fence  
Staff Recommendation: Approve With Conditions

**7. COA-24-31249**

District: Riverside/Avondale - 2311 River Boulevard  
Applicant: Daniel Greer, JBL Corporation  
Owner: John Moore  
Request: Alterations - Foundation  
Staff Recommendation: Approve With Conditions

**8. COA-24-31216**

District: Riverside/Avondale - 3208 Tivoli Street  
Applicant: Laura Hendrixson  
Owner: Laura Hendrixson  
Request: Alterations - Roof  
Staff Recommendation: Approve With Conditions

**9. COA-24-31218**

District: Riverside/Avondale - 3011 Riverside Avenue  
Applicant: Shawn McCormick  
Owner: Shawn McCormick  
Request: Alterations - Roof  
Staff Recommendation: Approve with Conditions

**D. Previously Deferred Items to be Heard**

**1. COA-24-30766**

District: Springfield – 2026/2030 Walnut Street  
Applicant: Joseph Markusic, Glory Homes, Inc.  
Owner: Felicia Luke, 4 Loco Investors LLC  
Request: Alterations - Accessibility Ramp  
Staff Recommendation: Approve With Conditions

## **E. Condemned Properties**

## **F. Historic Designations**

## **G. Certificates of Appropriateness**

### **1. COA-24-30766**

District: Riverside/Avondale - 1464 Avondale Avenue

Applicant: Sondra Fetner

Owner: Sondra Fetner

Request: Alterations - Window Replacement

Staff Recommendation: Approve With Conditions

### **2. COA-24-30820**

District: Riverside/Avondale - 2142 College Street

Applicant: Jennifer Botterbusch, 2142 College Street, LLC

Owner: Jennifer Botterbusch, 2142 College Street, LLC

Request: Alterations - Masonry Painting

Staff Recommendation: Deny

## **H. Certificate of Appropriateness / Work Initiated or Completed Without a COA**

## **I. Appeal of Administratively Approved COA's**

## **J. Minor Modifications to Previously Approved COA's**

## **K. Public Comments**

## **L. New Business**

## **M. Information**

1. Springfield UF Midcentury Survey Presentation
2. 2025 JHPC Planning
3. Pending Legislation
4. Public Works Improvement Projects

## **N. Old Business**

**O. Design Issues**

1. Reroofs and Florida Building Code

**P. Addendum**

**Q. Adjournment**



A.

*Call to Order*



JACKSONVILLE HISTORIC PRESERVATION COMMISSION

1.

*Submittal Of  
Speaker's Cards*



JACKSONVILLE HISTORIC PRESERVATION COMMISSION

2.

# Reminder of Meeting Break Times



JACKSONVILLE HISTORIC PRESERVATION COMMISSION

3.

# Approval of the Minutes



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



CITY OF JACKSONVILLE  
HISTORIC PRESERVATION  
COMMISSION

Proceedings held on Wednesday, August 28, 2024,  
commencing at 3:00 p.m., at the Ed Ball Building,  
Hearing Room 1002, 214 North Hogan Street, Jacksonville,  
Florida, before Diane M. Tropa, FPR, a Notary Public in  
and for the State of Florida at Large.

PRESENT:

MICHAEL MONTOYA, Chairman.  
ETHAN GREGORY, Vice Chair.  
WILLIAM HOFF, Secretary.

ALSO PRESENT:

ARIMUS WELLS, Planning and Development Dept.  
CARLA LOPERA, Office of General Counsel.  
JOANNA SNYDER, Planning and Development Dept.

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1 commissioner.  
2 THE CHAIRMAN: Michael Montoya, chair.  
3 Before we open the public hearing, just  
4 please make sure that you have filled out a  
5 speaker's card and handed it in so that can be  
6 recorded.  
7 And I'm going to read through the entire  
8 agenda first.  
9 The deferred items are COA-23-28339, 3664  
10 Richmond Street; COA-23-29186, 2799 Selma  
11 Street; COA-24-31124, 3629 Richmond Street; and  
12 REHAB 24-03 at 157 8th Street East.  
13 Currently, on the consent agenda, we have  
14 COA-24-30741, 1448 Pearl Street North;  
15 COA-24-30849, 1237 Lechlade Place;  
16 COA-24-30895, 2026/2030 Walnut Street;  
17 COA-24-30936, 1403 Walnut Street; COA-24-30958,  
18 1344 Ionia Street; COA-24-30962, 3709 Hedrick  
19 Street; COA-24-31001, 1613 Van Wert Avenue;  
20 COA-24-31027, 1819 Montgomery Place;  
21 COA-24-31050, 2151 Dellwood Avenue;  
22 COA-24-31078, 414 4th Street East;  
23 COA-24-31081, 2124 Laura Street North;  
24 COA-24-31082, 1120 Ionia Street; COA-24-31092,  
25 3633 Richmond Street; COA-24-31062, 1449 Talbot  
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1 PROCEEDINGS  
August 28, 2024 3:00 p.m.

2 - - -  
3 THE CHAIRMAN: All right. I'll call this  
4 meeting to order for the Jacksonville Historic  
5 Preservation Commission on August 28th, 2024.

6 Before we begin, I just want everyone to  
7 know that -- apologize, but we do not have a  
8 quorum to vote on items on any of the agendas  
9 today, but we are going to open the public  
10 hearings. So if you wish to speak to any of  
11 the items on the agendas, you'll have that  
12 opportunity.

13 We're trying to reschedule the meeting  
14 for -- we have rescheduled the meeting for  
15 September 11, 2024, at 3 p.m. in this room.

16 So before we get started, Commissioners  
17 and staff that are here -- let's start with  
18 staff with some introductions.

19 MR. WELLS: Arimus Wells, Planning and  
20 Development Department.

21 MS. LOPERA: Carla Lopera, Office of  
22 General Counsel.

23 COMMISSIONER GREGORY: Ethan Gregory,  
24 commissioner.

25 COMMISSIONER HOFF: William Hoff,  
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1 Avenue.  
2 There are no previous items -- deferred  
3 items to be heard. There's nothing in the  
4 condemned properties category.  
5 Historic designations on the agenda,  
6 LS-23-01, 538 Ellis Road South; LM-24-03, 801  
7 Jefferson Street North; LM-24-05, 821 Jefferson  
8 Street.  
9 And for Certificates of Appropriateness,  
10 the COAs we have COA-24-30766, 1464 Avondale  
11 Avenue; COA-24-30820, 2142 College Street;  
12 COA-24-31013, 1238 Ingleside Avenue.  
13 There are no Certificates of  
14 Appropriateness for work initiated or completed  
15 without a COA this month. There are no appeals  
16 of administratively approved COAs, no minor  
17 mods.  
18 And we'll open the room to public comment.  
19 I'm sorry, let's just go through the  
20 entire agenda too.  
21 New Business, we have the REHAB projects,  
22 which stands for Restore Engaged Historic  
23 Adaptable Buildings. We have REHAB 24-01, 101  
24 1st Street West; REHAB 24-04, 723 4th Street  
25 West, and REHAB 24-07, 841 Franklin Street.  
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1 So we'll open the public hearing.  
 2 Please remember that you have three  
 3 minutes if you want to speak and be recorded  
 4 for the record. Make sure you have your  
 5 speaker card turned in.  
 6 Is there anyone here that would like to  
 7 come forward and speak to any of the items?  
 8 AUDIENCE MEMBER: (Indicating.)  
 9 THE CHAIRMAN: Please come forward.  
 10 (Audience member approaches the podium.)  
 11 AUDIENCE MEMBER: I just wanted  
 12 clarification. You're saying --  
 13 THE CHAIRMAN: Thank you.  
 14 Before you approach the microphone -- or  
 15 as you approach the microphone, Diane will  
 16 swear you in.  
 17 AUDIENCE MEMBER: Oh, for just a question?  
 18 MS. LOPERA: Are you here to speak on an  
 19 item? Ma'am, are you --  
 20 AUDIENCE MEMBER: Yes. On item -- you're  
 21 saying that you don't have a quorum to vote on  
 22 anything, so that notice on that lot next to my  
 23 house, it will be changed to another hearing  
 24 date?  
 25 MS. LOPERA: Yes.  
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1 Can you state your name and address for  
 2 the record, please?  
 3 AUDIENCE MEMBER: Melinda Harper, 2120  
 4 North Laura Street.  
 5 MS. LOPERA: Okay. And which item are you  
 6 asking about, ma'am?  
 7 MS. HARPER: It's H [sic], -31081. It was  
 8 a 2124 Laura Street property.  
 9 MS. LOPERA: Okay.  
 10 THE CHAIRMAN: Yes. It's on the consent  
 11 agenda.  
 12 MS. HARPER: When will the next hearing be  
 13 held on that?  
 14 THE CHAIRMAN: As I said earlier,  
 15 September 11th.  
 16 MS. HARPER: September 11th?  
 17 THE CHAIRMAN: In this room at 3 p.m.  
 18 MS. HARPER: Thank you very much.  
 19 THE CHAIRMAN: Thank you.  
 20 Is there anyone else who would like to  
 21 speak on an item today?  
 22 AUDIENCE MEMBER: (Indicating.)  
 23 THE CHAIRMAN: Please come forward.  
 24 (Audience member approaches the podium.)  
 25 THE CHAIRMAN: And, again, she will swear  
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1 you in.  
 2 Please give her your name and address.  
 3 AUDIENCE MEMBER: Okay.  
 4 THE REPORTER: Your name and address,  
 5 please.  
 6 AUDIENCE MEMBER: Rita Love, 3303 Tapered  
 7 Bill Drive, Jacksonville.  
 8 THE REPORTER: If you would raise your  
 9 right hand for me, please.  
 10 MS. LOVE: (Complies.)  
 11 THE REPORTER: Do you affirm that the  
 12 testimony you are about to give will be the  
 13 truth, the whole truth, and nothing but the  
 14 truth?  
 15 MS. LOVE: Yes.  
 16 THE REPORTER: Thank you.  
 17 MS. LOVE: I just want to say thank you  
 18 for this opportunity.  
 19 THE CHAIRMAN: Could you begin by telling  
 20 us which item you wish to speak to?  
 21 MS. LOVE: I don't have the item number,  
 22 but it's 841 --  
 23 AUDIENCE MEMBER: The very last agenda  
 24 item.  
 25 MS. LOVE: The last one, 841 Franklin  
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1 Street. Is it 841?  
 2 THE CHAIRMAN: The REHAB.  
 3 MS. LOVE: I've go so many projects.  
 4 Franklin Street.  
 5 I just want to say thank you for the  
 6 opportunity. I know we're rescheduling, but  
 7 some of the members are here.  
 8 And for the record, this is a very  
 9 historical church, very significant to the  
 10 community. And with the barrage of rain that  
 11 we just been getting, we're just in a really  
 12 endangered situation.  
 13 I did bring some photos for that, if  
 14 that's appropriate to give that now or at the  
 15 next hearing.  
 16 THE CHAIRMAN: I would -- do you have ten  
 17 copies of them?  
 18 MS. LOVE: I got copies, yeah.  
 19 THE CHAIRMAN: I would wait for the next  
 20 meeting and bring them to the --  
 21 MS. LOVE: The next meeting? Okay.  
 22 Yeah, and so I just wanted to just make a  
 23 note that it is kind of a desperation that  
 24 we're in because of all the water intrusion.  
 25 We were able to get funding for a  
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1 temporary roof, but at the time that they came  
2 in to do the temporary roof, it was in worse  
3 condition than it was, so the tarp is on the  
4 ground right now.

5 And so I just wanted to kind of put that  
6 out there, that we are desperate for some  
7 assistance right now for this church.

8 So that's just what I just wanted to share  
9 with -- with you today. Okay?

10 THE CHAIRMAN: Thank you.

11 Arimus, would you like to have copies of  
12 those so you can include it in the report for  
13 the next meeting or would you rather wait?

14 MR. WELLS: To the Chair, I think it would  
15 be prudent just to wait until --

16 MS. LOVE: Yeah, because that -- one of  
17 the things I know with the -- you can't really  
18 see the roof. We did have an aerial [sic] come  
19 in and do the roof, but not really --

20 We do have a report from the Phase 1 to --  
21 for the water intrusion from our architect,  
22 from -- and I don't know if that's appropriate  
23 to provide that on the next --

24 And then we also have some pictures of  
25 some of the damage that we actually got to see

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1 from the aerial view that is really causing a  
2 problem.

3 And in addition to that -- I didn't even  
4 mention that we have the water intrusion from  
5 all of the windows as well.

6 So I just wanted to state that.

7 THE CHAIRMAN: I would say yes, any  
8 evidence that you can bring to support your  
9 application, I would bring that.

10 MS. LOVE: Okay. Will do.

11 MS. LOPERA: And through the Chair to the  
12 speaker, if you could bring ten copies of  
13 anything you want to bring next time.

14 MS. LOVE: Okay.

15 MS. LOPERA: And if for some reason -- if  
16 you can't make that next meeting, be sure to  
17 email a copy to Mr. Wells at Planning and he  
18 can get it to the commissioners if --

19 MS. LOVE: Okay.

20 MS. LOPERA: -- you can't make it for some  
21 reason.

22 MS. LOVE: Okay. Thank you so much.  
23 Thank you.

24 THE CHAIRMAN: Thank you.

25 All right. Would anyone else like to

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1 speak?

2 AUDIENCE MEMBER: (Indicating.)

3 THE CHAIRMAN: Yes, please come forward.  
4 (Audience member approaches the podium.)

5 THE CHAIRMAN: And as you approach the  
6 microphone, just state your name and address,  
7 and she'll swear you in.

8 AUDIENCE MEMBER: Patricia Brooks.

9 THE CHAIRMAN: Thank you for being here  
10 today.

11 THE REPORTER: If you would raise your  
12 right hand for me, please.

13 MS. BROOKS: (Complies.)

14 THE REPORTER: Do you affirm that the  
15 testimony you are about to give will be the  
16 truth, the whole truth, and nothing but the  
17 truth?

18 MS. BROOKS: Yes, I do.

19 THE REPORTER: Thank you.

20 MS. BROOKS: I would like to say that I  
21 think it's a shame that people that could  
22 not -- and had a hard time getting here, that  
23 now we -- they have to wait until the next  
24 meeting for something to happen with their  
25 property. This is a shame.

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1 Somebody should have got -- they should  
2 have gotten an email, a phone call. I took off  
3 from work to make sure my sister got here, and  
4 I -- I'm really livid about this. It doesn't  
5 make any sense.

6 I'm here for the Whetstonian, and we're  
7 trying to -- she's been trying to get  
8 this -- this building zoned as a historical  
9 property. She's been trying for years. And we  
10 need to get something done with this because  
11 that building is very, very old, and it has so  
12 many memories.

13 Mr. Whetstone put his heart and soul into  
14 that building. And now the next time I take  
15 off, are y'all going to pay me? Am I right or  
16 wrong? Who going to pay me?

17 THE CHAIRMAN: You're looking at  
18 volunteers here.

19 MS. BROOKS: Well, I -- look here, I need  
20 a promise because I'm going to have to take off  
21 the next time to make sure she gets here, and  
22 I'm quite sure a lot of -- a lot of the other  
23 people -- these are seniors we're dealing with,  
24 and we ought to be more mindful that people  
25 take off from their jobs and stuff, are trying

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1 to make a way to get here. And we need to make  
2 a better effort to let them know when the  
3 meeting -- there's not going to be any votes.

4 And I thank you guys.

5 THE CHAIRMAN: I understand. Thank you.

6 MS. BROOKS: Have a blessed day.

7 Oh, one more thing. The homeless that's  
8 sleeping on this property and causing all kind  
9 of havoc with this property, I need you guys to  
10 put that in the notes to know that we need to  
11 get something done about this where we can keep  
12 downtown beautiful.

13 Thank you.

14 THE CHAIRMAN: Thank you.

15 Is there anyone else who would like to  
16 speak to an item?

17 AUDIENCE MEMBERS: (No response.)

18 THE CHAIRMAN: For those of you who came  
19 in after the meeting started, we do not have a  
20 quorum this month, so we're not able to vote on  
21 any of the items, but if you wish to speak so  
22 that your comments can be recorded as part of  
23 the public record, you're welcome to.

24 AUDIENCE MEMBERS: (No response.)

25 MS. LOPERA: And through the Chair, if you  
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1 didn't hear, your item will be continued to  
2 September 11th, at 3 p.m., in this room. So  
3 you'll have an opportunity at that point to  
4 speak at that hearing as well.

5 THE CHAIRMAN: Is there anyone else who  
6 would like to speak to any of the items on the  
7 agenda?

8 (Audience member approaches the podium.)

9 AUDIENCE MEMBER: Good evening.

10 My name is --

11 THE CHAIRMAN: State your name -- sorry.  
12 Go ahead.

13 AUDIENCE MEMBER: -- Dorothy Whetstone.

14 My name is Dorothy Whetstone, and I'm here  
15 to talk about the building that we are trying  
16 to keep the area with the preservation.

17 THE CHAIRMAN: Yes, ma'am.

18 Could you --

19 MS. WHETSTONE: I don't know what all --

20 THE CHAIRMAN: Could you please state your  
21 address as well? And she'll swear you in.

22 MS. WHETSTONE: The address?

23 THE CHAIRMAN: Your address.

24 THE REPORTER: Your address, please, for  
25 the record.

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1 MS. WHETSTONE: Living address?  
2 17 West 11th Street, Jacksonville, Florida  
3 32206.

4 THE REPORTER: Thank you.

5 If you would raise your right hand for me,  
6 please.

7 MS. WHETSTONE: (Complies.)

8 THE REPORTER: Do you affirm that the  
9 testimony you are about to give will be the  
10 truth, the whole truth, and nothing but the  
11 truth?

12 MS. WHETSTONE: Yes.

13 THE REPORTER: Thank you.

14 THE CHAIRMAN: Thank you.

15 MS. WHETSTONE: We got this letter. We  
16 received this letter, and I don't know exactly  
17 what you're asking from us, no more than we're  
18 trying to get it preserved because of something  
19 that my husband really worked hard and trying  
20 to bring to renovate and do it well for the  
21 city.

22 And we can't do anything, like my sister  
23 said, with the homeless. I'm not trying to run  
24 them, I'm not trying to be mean, but the City  
25 has closed in all of their areas and pushed

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1 them towards me and my building.

2 And I went out there and talked with them  
3 this morning, trying to let them know that  
4 I'm -- I don't want to be mean, and I'm not  
5 trying to be hard on them. They're all having  
6 a problem, just as I am, but you-all -- the  
7 City is, well, more able to take care of them  
8 than I am.

9 And I would like to know what your -- what  
10 are you needing from us to do a preservation  
11 for the building?

12 THE CHAIRMAN: Well, ma'am, Arimus can  
13 speak to that, but I don't think we require  
14 anything else from you. The application has  
15 been made, and we simply need to review it and  
16 to vote on it.

17 MS. WHETSTONE: Okay.

18 THE CHAIRMAN: And that's why we can't do  
19 that today, because there are only three  
20 commissioners present and we must have four.

21 MS. WHETSTONE: So nothing is being voted  
22 on today because of the --

23 THE CHAIRMAN: Absence of --

24 MS. WHETSTONE: -- lack of people that you  
25 need here?

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1 THE CHAIRMAN: Yes, ma'am.  
 2 We apologize for that, but there's nothing  
 3 more that you need to do, if I'm correct.  
 4 Arimus.  
 5 MR. WELLS: (Microphone failure.)  
 6 Through the Chair to the applicant, that  
 7 is correct.  
 8 (Microphone failure.)  
 9 MR. WELLS: Through the Chair to the  
 10 applicant, that is correct.  
 11 So we already received an application for  
 12 the landmark. We already wrote our report.  
 13 We're ready to, essentially, recommend  
 14 approval.  
 15 Again, it's just because the Commission  
 16 does not have enough members today that they're  
 17 not able to vote, so they will be taking formal  
 18 action on your landmark application on  
 19 Wednesday, September 11th.  
 20 MS. WHETSTONE: So we have to fill out an  
 21 application?  
 22 MR. WELLS: No, ma'am.  
 23 So we are --  
 24 THE CHAIRMAN: You already have done it.  
 25 You already have done everything --  
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1 MS. WHETSTONE: We've done that.  
 2 THE CHAIRMAN: Staff has reviewed it, and  
 3 they're recommending approval. A quorum of  
 4 commissioners need to vote on it.  
 5 MS. WHETSTONE: Okay.  
 6 THE CHAIRMAN: That's all.  
 7 MS. WHETSTONE: Okay. Thank you so very  
 8 much.  
 9 THE CHAIRMAN: Thank you.  
 10 All right. Is there anyone else who would  
 11 like to speak on -- to one of the items on the  
 12 agenda today?  
 13 AUDIENCE MEMBERS: (No response.)  
 14 THE CHAIRMAN: If not, we'll -- so if  
 15 we -- if we're not going to hear any more about  
 16 items on the agenda, please know that these  
 17 items are deferred to the next meeting that  
 18 will be held on September 11th, 2024, in this  
 19 room at 3 p.m. We're going to continue the  
 20 public hearings.  
 21 Just so you know, those of you who are  
 22 here, we're going to continue on with the parts  
 23 of the agenda that are more internal working as  
 24 part of our discussion with the commissioners  
 25 that we do have present. You are welcome to  
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1 stay. But if you choose to leave, that's  
 2 totally up to you and we understand.  
 3 Thank you for being here today.  
 4 So we're going to start with the pending  
 5 legislation.  
 6 Thank you, Arimus.  
 7 MR. WELLS: All right. So --  
 8 (Microphone failure.)  
 9 Okay. Is this better?  
 10 Okay. So we're going to discuss pending  
 11 legislation first. So not too many changes  
 12 here, but we did have -- since the last  
 13 committee, we have two ordinances, some changes  
 14 on those.  
 15 So this is Ordinance 2024-0420. So this  
 16 is an appeal of the approval of the demolition  
 17 at 125 3rd Street East. Because that property  
 18 owner has already demolished the structure, a  
 19 refund and a withdrawal request was made. That  
 20 was withdrawn by the Land Use and Zoning  
 21 Committee last week. And last night, it was  
 22 successfully withdrawn with the return of fees  
 23 by City Council.  
 24 The same thing happened for the next  
 25 ordinance, which is 2024-0515. The only  
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1 difference here is the applicant -- the  
 2 appellant has requested a withdrawal, so they  
 3 also were withdrawn by City Council last night.  
 4 Other than that, we have standing  
 5 legislation, 2023-0876, which may be withdrawn  
 6 at some point. I do anticipate that happening.  
 7 Other than that, we do have a memo, if you  
 8 do -- if you had any other questions or -- that  
 9 explains the first demolition withdrawal.  
 10 End of report.  
 11 THE CHAIRMAN: (Inaudible.)  
 12 MR. WELLS: Through the Chair to the  
 13 Commission, actually, the design issues for the  
 14 2024 Window Supplement, staff is -- wants to  
 15 defer that one more cycle, please.  
 16 THE CHAIRMAN: Okay. So that covers  
 17 information about legislation, other than the  
 18 task force. We want to talk about that.  
 19 Item Number 1 in the Information category,  
 20 we have the Jacksonville Historic Preservation  
 21 Commission Task Force. Just for some history  
 22 on that, there was a discussion about  
 23 establishing a Demolition by Neglect Task  
 24 Force. Bill Hoff was appointed as the Chair  
 25 for that committee, and we wanted to, today,  
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1 talk about other committee members that might  
2 serve on the task force.

3 And I want to present to the Commission  
4 the idea that a representative from SPAR and a  
5 representative from RAP also serve on the task  
6 force so that we have more community  
7 involvement beyond the appointed commissioners  
8 that are serving in that task force.

9 I reached out to Michael Haskins, who I  
10 see in the audience today, as well as  
11 Ms. Blankinship. And they both agreed to be  
12 part of it, if we -- if we think that that's  
13 something that we want to do as a Commission.  
14 So I'd like to talk about that.

15 We will have to reach -- if we do decide  
16 to do that, they will have to just be made  
17 aware, formally, about the Sunshine Law. And  
18 Legal will handle that, so I'd like to open it  
19 up for discussion.

20 MS. LOPERA: If I could comment on that  
21 real quick before you-all discuss -- so through  
22 the Chair to the Commission, one thing to  
23 consider, if you're going to put members of the  
24 community on the task force as members, they do  
25 have to comply with the Sunshine Law. So what

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1 that means logistically is you can't, then,  
2 call them up later and talk about anything  
3 related to the task force if they're a member  
4 of this task force.

5 So it's one thing to consider in deciding  
6 whether you want them to participate, just as  
7 community members or as actual members of the  
8 task force.

9 THE CHAIRMAN: Yeah, I would also -- and  
10 if Legal can confirm this or elaborate on it,  
11 but I would think that if you're in other  
12 meetings, like, let's say a SPAR meeting or a  
13 RAP meeting, and both of you are present, you  
14 have to be careful about those things as well  
15 in how you operate in those kinds of  
16 situations.

17 MS. LOPERA: Yeah. Through the Chair to  
18 the Commission, yes, that's correct.

19 You would not be able to discuss anything  
20 at, like, a SPAR meeting about -- related to  
21 the task force at all. It would have to be in  
22 a noticed meeting, so just one of the things to  
23 consider if (microphone failure) what you want  
24 to do with this and how it might affect you.

25 THE CHAIRMAN: And just as an aside,

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1 just -- in those kind of situations where more  
2 than one of us is present, even if it's just  
3 one of us in a situation like that, we have to  
4 be careful about expressing a kind of opinion  
5 on a matter that we might have to vote on  
6 later, yes?

7 MS. LOPERA: Well, yeah.

8 My recommendation to you is to tread  
9 carefully in that. This task force is a little  
10 bit different because you're not taking action  
11 on, like, a specific -- it's not like a  
12 specific property you're talking about. You  
13 know what I mean? Somebody's specific COA  
14 application for demolition or something like  
15 that.

16 But, yeah, I would use caution when making  
17 an affirmative statement that -- about how  
18 you're going to vote about anything.

19 THE CHAIRMAN: Okay. So --

20 MS. LOPERA: And I think -- through the  
21 Chair, I think you wanted to -- there are only  
22 two other commissioners present. I know you  
23 wanted to get volunteers, commissioners that  
24 were willing to volunteer and not just appoint  
25 people to be on this task force, but --

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1 THE CHAIRMAN: Right. Well, usually -- at  
2 least in the -- in the private sector, the  
3 people that don't show up get appointed, so,  
4 you know, that might be something for us to  
5 consider, although we're not in the private  
6 sector.

7 Comedy aside, I think we're going to have  
8 to defer that, or at least -- no? Should we --  
9 do we have -- are we able to go ahead and  
10 appoint? I guess they can refuse.

11 MS. LOPERA: To the Chair, so the task  
12 force is -- it's your task force. You charge  
13 it, you issue the charge memo. You can assign  
14 people. You can assign community members. You  
15 can assign -- I mean, you can --

16 (Simultaneous speaking.)

17 THE CHAIRMAN: Okay.

18 MS. LOPERA: -- (inaudible) they would  
19 want to participate, of course, but you don't  
20 have to get volunteers. So I'll leave that --  
21 that's up to your discretion.

22 THE CHAIRMAN: Then I would say, I'd like  
23 to have a discussion with the present  
24 commissioners about, I guess, numbers.

25 We -- I've mentioned that I'd like to

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1 have -- I'd like to have two members from the  
 2 community who are engaged in historic  
 3 preservation, who have a stake in this, that we  
 4 are all aware of. And I've identified them.  
 5 So that's two. And we know Bill Hoff is going  
 6 to -- is chairing this task force.  
 7 How many -- just as an opinion -- I have  
 8 an idea, but how many members from the  
 9 Commission do you think ought to be on this  
 10 task force?  
 11 COMMISSIONER HOFF: You mean me  
 12 specifically or --  
 13 THE CHAIRMAN: Yeah, both of you. Yeah,  
 14 both of you.  
 15 COMMISSIONER GREGORY: I mean,  
 16 (inaudible) as the people that are here -- Bill  
 17 is obviously chairing it, but I personally -- I  
 18 don't think I have the time to be on the task  
 19 force moving forward. I'll still (inaudible)  
 20 the Commission, of course, but I'm all tight on  
 21 time to do all those things.  
 22 But in terms of -- I would like a -- more  
 23 than one. I mean, I -- would you be on the  
 24 task force as well as the Chair or is that  
 25 something -- would you attend? How does that

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1 work? That's more of a question for OGC, I  
 2 guess. I think -- how does that work?  
 3 THE CHAIRMAN: I don't think I should be  
 4 on the task force because I'm appointing it. I  
 5 think I need to hear what the task force  
 6 presents.  
 7 COMMISSIONER GREGORY: Yeah, delegate it  
 8 down, I gotcha.  
 9 THE CHAIRMAN: Comments on it --  
 10 COMMISSIONER GREGORY: I mean, I would  
 11 like to get another commissioner on there, but  
 12 (inaudible). They have to have the willingness  
 13 to do it as well.  
 14 THE CHAIRMAN: I definitely -- I would  
 15 like to have Commissioner Epstein on it as  
 16 an -- as an architecture voice on the task  
 17 force, and then -- then that leaves either Max  
 18 or Becky. I think -- in my opinion, we should  
 19 have three commissioners on the task force with  
 20 the two members from the community, and I think  
 21 that's an even balance.  
 22 So I would suggest perhaps Commissioner  
 23 Epstein and maybe Commissioner Morgan as our --  
 24 as our newest commissioner, this is something  
 25 that she may be involved in.

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1 So for the record -- this isn't something  
 2 that we need to vote on, right? I could just  
 3 make the statement as the Chair?  
 4 MS. LOPERA: No, I just need this  
 5 information, and I'll -- we'll get the charge  
 6 memo.  
 7 THE CHAIRMAN: Yeah?  
 8 Any comments in regard to that?  
 9 COMMISSIONER HOFF: Yeah. So to the  
 10 Chair, so I agree that -- I think that Number 3  
 11 is good.  
 12 I do not see the logistical benefit of  
 13 having two representatives from those two  
 14 community groups because of the limitations  
 15 that it will put on the conversations outside  
 16 of the meeting.  
 17 I think -- I hope that they and others  
 18 plan to be very involved, and I would hope and  
 19 plan to -- you know, to lean on them for  
 20 information and their experience with these  
 21 issues, whether they're on -- whether they're  
 22 officially on the task force or not.  
 23 So, logistically, I just think it throws  
 24 up some obstacles, whereas if they're not  
 25 officially on the task force, then -- you know,

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1 then there are no obstacles towards --  
 2 THE CHAIRMAN: Do you have any examples of  
 3 what obstacles you're thinking about?  
 4 COMMISSIONER HOFF: Sure.  
 5 So if we're talking about options for  
 6 something and we want to talk more about it  
 7 outside of a one- or two-hour meeting that  
 8 we're in, we can't talk about it again until  
 9 the next meeting, right?  
 10 So all of the conversations, all the  
 11 details, all of the suggestions and good ideas  
 12 and, you know, whatever, has to take place in  
 13 that limited -- at the -- being where I would  
 14 hope that a lot of work, a lot of the gathering  
 15 of information and kind of figuring out things  
 16 on the community side would happen in between  
 17 the public meetings.  
 18 So that's -- you know, you could get  
 19 around that possibly by -- you know, there's --  
 20 you know, if one representative is part of the  
 21 Commission, then maybe that particular person  
 22 is not included in the discussion outside of  
 23 the public meeting, but there's others that are  
 24 involved as well that's not on the official,  
 25 you know, task force, right?

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1 Because I would expect multiple people  
2 from those particular organizations to be  
3 involved in the discussion, so whether one is  
4 on the official task force and others are  
5 not -- and so they are the ones that can kind  
6 of talk outside of the public meeting, that may  
7 work.

8 So those are just my thoughts. I just  
9 don't want to make it harder for us.

10 And also of note, I don't think that it's  
11 inappropriate for you to be on it. So if you  
12 were interested, you know, then I -- then I  
13 think it would be fine, so --

14 THE CHAIRMAN: So -- thank you, Bill.

15 This is a question for Legal and maybe,  
16 Arimus, for you as well, but I thought that was  
17 one of the reasons why we decided on calling  
18 this a "task force" rather than a "committee,"  
19 that it gave more sort of liberty to the people  
20 involved to be operating outside of the -- sort  
21 of the confines of a formal meeting like this.

22 Could you -- I must confess, my memory  
23 lapses a bit.

24 MS. LOPERA: To the Chair, well, I was not  
25 at the meeting when you discussed and had

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1 THE CHAIRMAN: And what is the -- as an  
2 advisor -- as an advisor to the task force,  
3 what is the scope of their contribution and  
4 limit of their contribution?

5 Again, I'm think about Sunshine Law, and  
6 is that -- yeah, (microphone failure) in that  
7 regard.

8 MS. LOPERA: If they are not a member of  
9 the task force, they don't have to comply with  
10 Sunshine Law at all. So it does give more  
11 freedom and flexibility for additional outside  
12 conversations, follow-ups. You just couldn't  
13 have two task force members go and talk to RAP  
14 or talk together, but --

15 THE CHAIRMAN: I understand.

16 So for -- my point of view is this: I  
17 want accountability and I want transparency and  
18 I want everyone to -- that is participating, to  
19 have their voice heard. And I feel like this  
20 is an opportunity for us, as a Commission, to  
21 do something that goes beyond a mayoral  
22 appointment to be in a position of authority on  
23 the Commission, that it actively includes  
24 people in the community that we see here every  
25 month.

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1 discussions on this, between the "committee"  
2 and "task force," so I'm not entirely sure of  
3 all of the discussion you had on that.

4 What I will say is, yes, you can be on  
5 this if you wanted to -- if you wanted to be on  
6 the -- as part of the task force, you could.

7 THE CHAIRMAN: I'm not as concerned about  
8 that as I am about the -- the train of thought  
9 about not having members of the community  
10 involved because it will make it more difficult  
11 because they can't speak about it outside of a  
12 formal meeting.

13 MS. LOPERA: I will share this with you.  
14 I have seen some Council special committees  
15 convene, and the reasons -- Commissioner Hoff  
16 is stating -- they elect to use members of the  
17 community more to -- as advisors, and invite  
18 them to be advisors and (microphone failure)  
19 and reach out every meeting.

20 We want you there, we want your input, but  
21 not include them as members for that exact  
22 reason, so each commissioner -- each task force  
23 member could reach out to RAP at any time to  
24 get additional information or reach out to SPAR  
25 without having a Sunshine problem.

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1 And it's not just SPAR and RAP. It's  
2 the -- there are people -- I see people I  
3 recognize in this audience almost every month  
4 who don't even have anything on the agenda.  
5 And so there are clearly people in our  
6 community who are invested in historic  
7 preservation, they're very interested in this  
8 notion of trying to hold homeowners and  
9 business -- land owners and property owners  
10 accountable under this issue of demolition by  
11 neglect that we've spoken to over and over  
12 again.

13 And so I'm looking for community outreach  
14 rather than this; you know, us sitting up here  
15 and making rulings on things. And that's why I  
16 was more interested in it being a  
17 community-involved thing than just members of  
18 the Commission.

19 I may have to ponder that a little bit.

20 COMMISSIONER HOFF: Through the Chair --

21 THE CHAIRMAN: And I don't -- I really --  
22 I appreciate your comments. I don't mean it as  
23 a -- in opposition to what you're saying, but  
24 I'm trying to think about that because, for me,  
25 that's my directive as chair. I'm interested

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1 in that.

2 COMMISSIONER HOFF: Sure.

3 So I'll just share my experience serving

4 on a City Council special committee on

5 resiliency.

6 So the original plan was for members of

7 the public to actually serve on the committee,

8 but because of the issues we discussed here,

9 they thought it best to only have the City

10 Council members technically on the committee.

11 And then they wanted members of the public

12 to participate, and they selectively asked

13 certain members of the public to participate as

14 a -- I'm trying to think of the term -- as a

15 subject matter expert, right?

16 So they were deemed subject matter experts

17 and they were invited to participate, and their

18 income was -- or their input was just as much,

19 if not, you know, more valued during the

20 discussion because they had a lot more

21 information about it than -- you know, than the

22 people that were on the committee.

23 So I -- so just from my experience, it's

24 not limiting community engagement.

25 THE CHAIRMAN: So that would be more

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1 representative of RAP to serve as an advisor to

2 the committee so they'd be asked -- to the task

3 force rather, excuse me, so that they can be

4 involved in it.

5 But in that regard -- and also -- and the

6 last thing that Commissioner Hoff said, at

7 certain points during their meetings, they

8 might invite other people to attend for input

9 and commentary, yes?

10 MS. LOPERA: Yes. Through the Chair, you

11 can invite other people to give presentations,

12 to bring you -- you don't have to set out who

13 your subject matter experts are in your charge

14 memo. You can identify some if you want,

15 but --

16 And these meetings will be noticed and

17 open to the public, so even people who are not,

18 you know, identified as subject matter experts

19 can come and bring their input and their

20 expertise.

21 COMMISSIONER GREGORY: Is it -- excuse me.

22 Is it maybe a good idea to reach out to

23 leaders of, you know, SPAR, RAP, Eastside, all

24 those places and say, is there a community

25 member that maybe would want to serve on the

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1 comparable to this term, "advisor."

2 (Microphone failure). And I'm not opposed to

3 that either. It's very -- I just -- I think

4 it's important to include people beyond our

5 chairs.

6 COMMISSIONER HOFF: For sure.

7 THE CHAIRMAN: (Microphone failure.)

8 COMMISSIONER HOFF: Yeah. If it's just

9 three people from this Commission, I don't

10 think that would be good.

11 I think that we need input, for sure, from

12 the Planning Department, from OGC, and

13 Municipal Code, and from the people that have

14 experience with these issues in the community.

15 That will be key, I think, to have a good

16 result.

17 THE CHAIRMAN: So in that regard, we could

18 officially -- I can appoint -- I've already

19 appointed Bill Hoff as the Chair for this.

20 MS. PRYOR: We can't hear.

21 THE CHAIRMAN: We've appointed Bill Hoff

22 as the Chair of this task force, and I can

23 appoint Commissioners Epstein and Morgan to

24 also be part of it.

25 I could ask a representative of SPAR and a

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1 task force that would not be them as the

2 directors of those organization, but maybe they

3 would have people in mind that would maybe want

4 to serve and do that as community members?

5 THE CHAIRMAN: I think we could do that.

6 I think that needs a bit more -- I would

7 say, let's set the initial members in motion,

8 and then as it -- as it evolves and as it

9 grows, there might be invitations to -- there's

10 things that we need from this group and that

11 group.

12 And yeah, you know, is there -- hey, maybe

13 Michael Haskins is representing SPAR as an

14 advisor, but there might be a point in time

15 where the -- someone from the (inaudible)

16 committee there needs to make an appearance and

17 have a discussion or someone whose role in that

18 organization or in the community is more

19 pointed to the things that we're leading to.

20 So I think that gives you some flexibility

21 there so it's not just always a certain group

22 of people.

23 That's the other thing I'm interested in,

24 is more community -- this is an opportunity for

25 community outreach by the Commission, and I

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1 think that would be good for -- not just the  
 2 Commission, but I think it would be good for  
 3 the message that so often seems to be missed to  
 4 people living and working in the historic  
 5 districts when it comes to the design  
 6 guidelines and the process here.  
 7 So I think it's a -- it's a way to make  
 8 outreach into the community.  
 9 Arimus, do you want to --  
 10 MR. WELLS: No.  
 11 THE CHAIRMAN: So I will say, because it  
 12 seems as though Legal is telling me I have an  
 13 hour here, I'm going to -- I'm going to say  
 14 officially that, again, Bill Hoff is --  
 15 Bill Hoff has agreed to serve as the Chair for  
 16 this task force. We're going to appoint  
 17 Commissioner Epstein, and our new commissioner,  
 18 Morgan, as part of the task force.  
 19 And then we're going to formally ask SPAR  
 20 and RAP to be part of it as advisors, and then  
 21 we will -- we will move forward and see who  
 22 else we can bring into this conversation.  
 23 COMMISSIONER HOFF: Question for staff.  
 24 Arimus, do you -- would you, by chance,  
 25 have a contact list of different organizations  
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1 that may have an interest in this subject  
 2 matter, or not really?  
 3 MR. WELLS: Through the Chair to  
 4 Commissioner Hoff, it's a mixture of both. We  
 5 don't have a maintained list, but I'm more than  
 6 happy to procure one for you and get some  
 7 names.  
 8 COMMISSIONER HOFF: Okay. Just wondering.  
 9 One other question for -- I guess for both  
 10 the Chair and staff.  
 11 So at the last HPC meeting, we decided  
 12 that we were going to discuss the description  
 13 of the task force and kind of the mission and  
 14 that -- and those details.  
 15 Do we need to wait on that until there's  
 16 more people or can we go now or -- or what?  
 17 MS. LOPERA: Through the Chair, I have the  
 18 four charges in the draft memo if you want me  
 19 to go through those and just get --  
 20 THE CHAIRMAN: I think it would be good to  
 21 just put those into the (microphone failure) so  
 22 that they're on record. And then the --  
 23 (Reporter inquiry.)  
 24 THE CHAIRMAN: I think it would be good to  
 25 put those in the record, to state those  
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1 publicly so that they can be identified. And  
 2 since we now -- we've also identified the  
 3 members of the task force, they can begin to  
 4 discuss those directly.  
 5 MS. LOPERA: Okay. Through the Chair --  
 6 so --  
 7 THE CHAIRMAN: (Microphone failure.)  
 8 MS. LOPERA: Well, no, I was just  
 9 thinking, to the Chair, that the task force  
 10 cannot discuss items outside of a noticed  
 11 meeting. So once I, you know, read off these  
 12 four and get the, you know, on-the-record  
 13 thumbs up for these -- again, this is at your  
 14 discretion. This is your task force you're  
 15 creating, but -- I know you wanted input from  
 16 other commissioners. But once we get that, we  
 17 can't -- we can't just go talk to other task  
 18 force members.  
 19 THE CHAIRMAN: Gotcha. Okay.  
 20 MS. LOPERA: Okay.  
 21 THE CHAIRMAN: Let's go through them.  
 22 MS. LOPERA: So -- through the Chair, so  
 23 the first would be -- the first item to  
 24 address, (inaudible) to review current code  
 25 provisions, rules and related procedures and  
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1 policies regarding the preservation of historic  
 2 buildings; to identify, quote, loopholes,  
 3 unquote, or provisions otherwise affecting the  
 4 potential for demolition by neglect.  
 5 Are we -- through the Chair, do we feel  
 6 like that's a good charge?  
 7 COMMISSIONER HOFF: In summary, that is  
 8 examining what the current -- what the current  
 9 policies are in regards to -- that allow  
 10 demolition by neglect or that are there that  
 11 could possibly deter it?  
 12 MS. LOPERA: The first charge was to  
 13 review current code provisions, rules, and  
 14 related procedures and policies so that -- just  
 15 to identify any areas that might inadvertently  
 16 allow demolition by neglect.  
 17 THE CHAIRMAN: I mean, honestly, reading  
 18 through that -- when I read through that a  
 19 couple of days ago, that's the sort of -- a  
 20 no-brainer really. It's listing the situation  
 21 that we're in right now that allows this to  
 22 happen.  
 23 MS. LOPERA: All right. So I'm getting  
 24 nods for everybody.  
 25 All right. The second item would be to  
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1 review laws, initiatives, and strategies  
 2 implemented by other cities or states that have  
 3 been -- that have proven effective at  
 4 preventing demolition by neglect.  
 5 I'm getting nods and thumbs up from  
 6 everybody.  
 7 Okay. The third item is to identify and  
 8 make recommendations for potential revisions to  
 9 Code, policy initiatives, and strategies to  
 10 curb the prevalence of demolition by neglect.  
 11 I'm getting thumbs up and nods from  
 12 everybody.  
 13 All right. And the last item would be to  
 14 consider methods to incorporate the Commission  
 15 in the proactive identification of buildings or  
 16 structures that may become the subject of  
 17 demolition by neglect; and the proactive  
 18 identification of buildings, structures or  
 19 sites as potential landmarks -- and/or  
 20 potential landmark sites in the city.  
 21 COMMISSIONER GREGORY: It makes sense  
 22 about identifying potential landmark sites, but  
 23 the first part, proactively identify, is that  
 24 really in the Commission's scope? You know,  
 25 because I'm not sure -- if it doesn't come  
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1 before us as a landmark or a COA, is it really  
 2 before the Commission?  
 3 MS. LOPERA: Through the Chair to  
 4 Commissioner Gregory, it is within your purview  
 5 of the Commission to preserve structures,  
 6 right? So if you can --  
 7 This is to consider methods that you might  
 8 be able to identify, structures that are  
 9 like -- like an at-risk sort of structure list,  
 10 which I know Dr. Bliss does that as part of the  
 11 Historical Society, but something that -- like  
 12 that. But just to consider and identify  
 13 methods that you could possibly implement in  
 14 that regard.  
 15 THE CHAIRMAN: And I guess, you know,  
 16 Ethan, you're thinking that -- you're thinking  
 17 along the lines of -- of our scope right now is  
 18 to listen to applications and to make rulings  
 19 on them, right?  
 20 And so how does this -- how does this work  
 21 in regard to the scope that we -- when we were  
 22 appointed, we agreed to? And so it might --  
 23 maybe that needs wordsmithing in terms of  
 24 how -- how all those things can be identified  
 25 so that the Commission can make rulings on  
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1 them, rather than us identifying them  
 2 individually.  
 3 It sounds like you think this means you're  
 4 going to be required to go around looking for  
 5 things that are being neglected.  
 6 COMMISSIONER GREGORY: Yeah. And I guess  
 7 I don't want to put a charge out there that  
 8 goes against what our Commission is set forth  
 9 to do.  
 10 I mean, we do have the ability to offer a  
 11 property up for landmark, you know, to identify  
 12 that and bring it to the staff's attention, get  
 13 a report, et cetera. But I just want to make  
 14 sure -- it's more, like, a question for Carla  
 15 here, as -- make sure we're not overstepping  
 16 our bounds by saying that.  
 17 THE CHAIRMAN: That's a valid question.  
 18 MS. LOPERA: It's a what question?  
 19 THE CHAIRMAN: It's a valid question.  
 20 MS. LOPERA: No, it is -- it is a valid  
 21 question.  
 22 We would really have to get into the  
 23 nitty-gritty of what kind of things you're  
 24 considering, I guess. But as it's written, I  
 25 think that's what's in your purview as a  
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1 Commission.  
 2 COMMISSIONER GREGORY: Okay. Cool. I  
 3 just wanted to make sure about that.  
 4 COMMISSIONER HOFF: And we are sort of  
 5 doing that now with the REHAB properties. We  
 6 are making a -- the determination if they are  
 7 at risk, so --  
 8 So, obviously, it wouldn't be the same  
 9 process, but that's a good example of being  
 10 asked to make a determination on an at-risk  
 11 property.  
 12 MS. LOPERA: And -- through the Chair, so  
 13 you actually have 20 different powers and  
 14 duties you are given as a Commission. And we  
 15 don't touch on a lot of these a lot of the  
 16 time, but within the Ordinance Code you have a  
 17 lot more power and duty.  
 18 And it's actually the first one that I  
 19 think this falls under, which is to conduct an  
 20 ongoing survey and inventory of historic  
 21 buildings, areas, and archaeological sites in  
 22 the city which shall be compatible with the  
 23 Florida Master Site File and a plan for their  
 24 preservation, so I think it falls within that.  
 25 THE CHAIRMAN: We don't just sit in these  
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1 chairs. We're perfectly able to identify  
 2 things that need to happen, and we probably  
 3 should.  
 4 Any other discussion about this?  
 5 COMMISSIONER HOFF: I have a question  
 6 about -- not this.  
 7 THE CHAIRMAN: Well, I think this has  
 8 been -- I think this is decided. I think I  
 9 made a decision, so --  
 10 MS. LOPERA: To the Chair, I have enough  
 11 information, and we can finalize this charge  
 12 memo, issue it. And then, at that point,  
 13 staff -- Mr. Wells can begin setting up  
 14 meetings and noticing those and preparing  
 15 the --  
 16 THE CHAIRMAN: Okay.  
 17 MS. LOPERA: -- the task force.  
 18 THE CHAIRMAN: And the last thing I would  
 19 say, though, is to your -- the -- maybe it  
 20 wasn't a request, but the comment about me  
 21 being part of it, I think -- this is a question  
 22 for Legal, too, but if I --  
 23 I'm not opposed to participating in the  
 24 task force, but I'm not sure -- I'm not sure  
 25 it's appropriate for me to call myself an  
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1 limited in what you can talk to.  
 2 THE CHAIRMAN: Okay.  
 3 COMMISSIONER GREGORY: Did you say  
 4 December 31st this report is due?  
 5 MS. LOPERA: To Commissioner Gregory, yes,  
 6 the current deadline is December 31st.  
 7 That -- this hasn't been issued yet, so  
 8 the Chair could elect a different deadline.  
 9 COMMISSIONER GREGORY: That just seems  
 10 pretty quick, considering it's going to be  
 11 September here pretty soon. That's up to the  
 12 Chair, I guess.  
 13 THE CHAIRMAN: How did -- is that because  
 14 of -- end of year; is that why we're thinking  
 15 that, or was that -- how arbitrary was that and  
 16 how --  
 17 MS. LOPERA: To the Chair, you can select  
 18 any date. I would just recommend you select it  
 19 before the end of your term, which I think is  
 20 May. I think June is the election of new  
 21 officers, so you could potentially not be Chair  
 22 anymore in June, so we -- we can do a different  
 23 date if you'd like.  
 24 THE CHAIRMAN: That's -- well, December.  
 25 Let's say the end of January. Let's get one  
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1 advisor on the task force or --  
 2 I really want to empower the commissioners  
 3 to be -- and the volunteers from the community  
 4 to be -- for them to have that authority,  
 5 rather than the Chair sort of -- you know what  
 6 I mean?  
 7 So what are some options for me to  
 8 participate in the task force that is not as a  
 9 figure of authority? Because, obviously,  
 10 Commissioner Hoff is the Chair.  
 11 MS. LOPERA: To the Chair, you could come  
 12 and listen, but you can't -- you can't really  
 13 participate because you're not a member on the  
 14 task force, but you're a Commission member.  
 15 And this report for the task force is to  
 16 create -- their findings are to -- the report  
 17 just -- describe any recommendations for policy  
 18 or amendments to the Code are delivered to you  
 19 on or before December 31st, so the end of the  
 20 year.  
 21 THE CHAIRMAN: Okay.  
 22 MS. LOPERA: So you -- it's all coming to  
 23 you, so you can't -- you can't really  
 24 participate. You can attend. But unless you  
 25 put yourself on the task force, you're very  
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1 more month for that because the -- December,  
 2 there's a lot of holiday/vacation stuff going  
 3 on there. Sound more reasonable?  
 4 You're not a part of the task force.  
 5 COMMISSIONER GREGORY: I'm not on the task  
 6 force, so -- I mean, I was just concerned about  
 7 everybody else's time, and, you know, staff  
 8 putting the report together and everything. It  
 9 just seemed --  
 10 (Discussion held off the record.)  
 11 MS. LOPERA: So to the -- through the  
 12 Chair to the Commission and to staff, so the  
 13 task force is to produce a report  
 14 recommending -- making recommendations for  
 15 policy or (inaudible) amendments or request  
 16 additional time, and that -- the Chair of the  
 17 task force would be the one in charge of  
 18 assigning that to someone, assigning certain  
 19 parts of the report to various task force  
 20 members or -- however the Chair of the task  
 21 force wants to handle it, that's at his  
 22 discretion.  
 23 THE CHAIRMAN: Well, you're here.  
 24 COMMISSIONER HOFF: So --  
 25 THE CHAIRMAN: Does that sound like enough  
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1 time?

2 COMMISSIONER HOFF: So I'm just

3 thinking -- so part of this would depend on

4 when this actually begins, because I do

5 think -- I do think a number of City

6 departments would need to be included in this,

7 so I'm not sure how much time they need to

8 prepare or to look information up.

9 So it's the end of -- you know, I assume

10 we need at least 30 days, 14 days?

11 THE CHAIRMAN: (Off microphone.)

12 COMMISSIONER HOFF: Yeah. Okay. But for

13 planning purposes, more is better, so --

14 THE CHAIRMAN: It sounds like you're

15 negotiating here.

16 COMMISSIONER HOFF: So I'm just thinking,

17 like, realistically, the earliest first meeting

18 could be, you know, late next month, but that's

19 around HPC, too, so --

20 So I think part of it depends on when the

21 first meeting could be -- you know, could

22 realistically be for four people's schedules

23 and --

24 THE CHAIRMAN: Well, then let's ask this

25 question: Once things get rolling, how much

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1 MS. LOPERA: So they're not members?

2 THE CHAIRMAN: Right.

3 MS. LOPERA: Okay. So we have three

4 members. So you only need two for a quorum.

5 So -- and then a week -- I recommend a

6 seven-day notice before any meeting.

7 COMMISSIONER HOFF: Yeah. Just curious

8 from OGC and Historic Preservation staff's

9 point of view, how much -- do you need time?

10 How much time would you need to prepare for the

11 first meeting? Is this something you go into

12 and just kind of figure it out as it goes or do

13 you come in prepared to talk about X, Y, Z?

14 MS. LOPERA: Through the Chair to

15 Commissioner Hoff, it would be at your request.

16 If there's some item you want me to speak

17 on -- or speak about, if you request in

18 advance, like, hey, we have this task force

19 meeting, I'd like you to talk about X; okay, I

20 can be ready to talk about X. Other than that,

21 I would just be there to help as needed.

22 And I'll defer to Mr. Wells because a lot

23 more of the administrative work would fall on

24 him or his staff.

25 COMMISSIONER HOFF: Sure.

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1 time do you think you need when that happens?

2 Do you think it's something that can be

3 accomplished in four months to get things

4 rolling?

5 COMMISSIONER HOFF: I would certainly hope

6 so.

7 MS. LOPERA: I'm sorry, Mr. Chair, could

8 you repeat that?

9 THE CHAIRMAN: I asked if he thought, once

10 they begin, it could be accomplished in four

11 months, and he said he thought so.

12 MS. LOPERA: Through the Chair to the

13 Commission, also something to think about is --

14 I mean, this is the deadline, but should you

15 get closer to it and you need to request

16 additional time, you -- you could always

17 request additional time from the Chair, and --

18 THE CHAIRMAN: No. That's why they call

19 it "deadlines."

20 MS. LOPERA: The other thing, too, I would

21 like to clarify -- for notice requirements,

22 really, a week max. And if -- I have three

23 people on the task force. Were there four?

24 THE CHAIRMAN: Three commissioners and

25 then two advisors.

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1 MR. WELLS: Through the Chair to

2 Commissioner Hoff, I mean, just -- I want to

3 echo Carla's comments as well. I mean, it

4 really depends on your frequency, and that

5 will, of course, determine our allocation of

6 resources and how much time we can allot for

7 the time being, so --

8 Of course, we're not only just doing

9 Commission, we're also doing administrative

10 COAs and also working on some internal

11 organizational improvements and whatnot on a

12 recurring basis, coupled with grants and

13 whatnot.

14 So there's a lot of things going on, so

15 just -- it really is -- it just depends on what

16 you are tasking us with.

17 COMMISSIONER HOFF: So how do we determine

18 the first date?

19 I assume we need to see when the three

20 appointed commissioners are available, number

21 one, and then see if that -- and then see if

22 that's a good date for the City staff people

23 that -- you know, that need to be involved?

24 MS. LOPERA: Yes. Through the Chair to

25 Commissioner Hoff, you, as chair of the task

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1 force, would work with staff to select meeting  
 2 dates and times. And Mr. Wells would confirm,  
 3 you know, room availability and those kind of  
 4 things, get the notice out, and all the  
 5 administrative tasks related to that.  
 6 THE CHAIRMAN: I have a question --  
 7 question for legal.  
 8 If -- right now we have a -- we have an  
 9 odd number. There are three members who might  
 10 have to vote on something internally as the  
 11 task force when they're trying to make  
 12 decisions about things. So there's never going  
 13 to be a tie.  
 14 If I -- if I were to say I will serve as a  
 15 member on that task force, what happens if we  
 16 vote on something and it's a deadlock? Then is  
 17 it up to the Chair to decide the outcome or is  
 18 it -- is it just a deadlock and we have to  
 19 discuss it until we decide?  
 20 I'm considering being part of the task  
 21 force still, but I don't want to be a -- I  
 22 don't want stumbling blocks to be present. I  
 23 want a path of success for this.  
 24 MS. LOPERA: To the Chair, these task  
 25 forces are a more informal -- if you just look  
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1 COMMISSIONER HOFF: So we will need three  
 2 people for a quorum, then.  
 3 And do we operate by Robert's Rules of  
 4 Order during task forces, I assume?  
 5 MS. LOPERA: Yes. Affirmative.  
 6 COMMISSIONER HOFF: Okay. Gotcha.  
 7 I still have one other nonrelated  
 8 question.  
 9 THE CHAIRMAN: So we can put this to rest.  
 10 This is decided, yes?  
 11 COMMISSIONER HOFF: So we should reach --  
 12 so we should go through Mr. Wells to figure out  
 13 a date when everyone is going to be available,  
 14 and -- and including staff, and -- well --  
 15 So what's the -- so who -- so I assume  
 16 Mr. Wells is going to reach out to Ms. Epstein  
 17 and Ms. Morgan to let them know that they have  
 18 been volunteered to participate on this task  
 19 force.  
 20 If they're not able to, then what happens?  
 21 That's my first question.  
 22 Second, when -- could we also get the  
 23 draft charges that were read aloud here emailed  
 24 to us?  
 25 And then my third question is -- or my  
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1 at the charges, it's more of a discussion, and  
 2 a -- the only real voting thing I can think  
 3 of -- and it would -- it will depend on how  
 4 Mr. Hoff runs his meetings, but the only real  
 5 thing would be, as you're -- you know, you're  
 6 compiling the report, and then does everybody  
 7 agree this is the report we should submit, at  
 8 the end, is the only voting thing I can think  
 9 of, but there may be other voting things that's  
 10 a --  
 11 THE CHAIRMAN: Yeah, I can't think of  
 12 anything specific. I just -- again, I don't  
 13 want it to be cumbersome.  
 14 But I think if you -- if you're interested  
 15 in that, I think -- I would certainly be  
 16 willing to participate as a member of the task  
 17 force.  
 18 COMMISSIONER HOFF: Yeah. I mean, you  
 19 don't need to ask my permission, so --  
 20 THE CHAIRMAN: I'll do that. I'll do  
 21 that. Add me to it. I'll --  
 22 MS. LOPERA: We're adding --  
 23 THE CHAIRMAN: Commissioner Hoff, you know  
 24 me. You know who I am. I don't operate that  
 25 way.  
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1 statement is, I assume we need to go through  
 2 Mr. Wells to find the date and time that's  
 3 going to work for everybody too or --  
 4 MS. LOPERA: Through the Chair to  
 5 Commissioner Hoff, I'm going to try to take  
 6 those one by one.  
 7 The first one was what if the --  
 8 COMMISSIONER HOFF: What if they're not --  
 9 MS. LOPERA: The commissioners can't, for  
 10 whatever reason, participate?  
 11 I mean, the Chair could issue a revised  
 12 charge memo.  
 13 COMMISSIONER HOFF: Okay.  
 14 MS. LOPERA: He can swap them out or just  
 15 eliminate some.  
 16 COMMISSIONER HOFF: But that would have to  
 17 wait until September the 11th?  
 18 MS. LOPERA: No. To be clear, this charge  
 19 memo is -- as soon as this meeting is over --  
 20 well, maybe not as soon as, but, you know,  
 21 following this meeting, we'll finalize it and  
 22 issue it. It doesn't have to be at a meeting.  
 23 It doesn't -- and we'll send it to all of you,  
 24 a copy of it, and post it.  
 25 COMMISSIONER HOFF: Okay.  
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1 THE CHAIRMAN: I would say, you know, at  
2 least -- I can't imagine both of them  
3 wouldn't -- would refuse, and so we'll still  
4 have a -- at least three commissioners.

5 COMMISSIONER HOFF: Yeah.

6 THE CHAIRMAN: That's the only reason why  
7 I was considering it.

8 COMMISSIONER HOFF: Okay. And as far as  
9 scheduling, that goes through Mr. Wells to find  
10 the best date and time and all that type of  
11 stuff?

12 MS. LOPERA: Correct.

13 MR. WELLS: That's correct.

14 COMMISSIONER HOFF: Okay. I've got one  
15 other non-development by neglect question for  
16 Mr. Wells or Ms. Lopera.

17 REHAB, the REHAB process, just for  
18 clarity -- just so I understand -- and other  
19 commissioners would appreciate this too.

20 So applications were given to staff, staff  
21 reviews -- has reviewed them to see if they  
22 have been completed. Does staff order all of  
23 them that have been completed to the Commission  
24 for review or is there some type of a screening  
25 process that goes on before that or -- or what?

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1 MR. WELLS: Through the Chair to  
2 Commission Hoff, we only forward the  
3 applications that have been deemed sufficient  
4 and eligible for the program. So, in essence,  
5 you have received -- you will receive all of  
6 the applications that --

7 COMMISSIONER HOFF: Okay. And beyond  
8 capacity to review them, is there any  
9 particular reason why we are reviewing them a  
10 few at a time?

11 MR. WELLS: Through the Chair to  
12 Commissioner Hoff, mainly -- there's a couple  
13 of -- yeah, besides capacity and staff time,  
14 another issue is because of the sufficiency.

15 So what we determined, of course, is that  
16 some of the applications were more sufficient  
17 and ready to go as opposed to others.

18 COMMISSIONER HOFF: Okay. Thank you.

19 And my last question about this, so after  
20 we make a determination whether they are -- I  
21 forget what the exact terminology is that we're  
22 using. But after we determine whether or not  
23 they are sufficiently at risk, then that goes  
24 to the Office of Economic Development to kind  
25 of figure out if they are awarded anything

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1 or -- or what?

2 MR. WELLS: Through the Chair to  
3 Commissioner Hoff, so once the Commission has  
4 declared the building as critically endangered,  
5 it's forwarded to the Downtown Investment  
6 Authority, so DIA for short. They review the  
7 application for financial sufficiency. They'll  
8 make their determination on whether or not the  
9 application is sufficient from that realm.

10 And then once it's been deemed sufficient,  
11 financially speaking, then that's when it's  
12 financially scored by DIA, as well as our  
13 department, and so that's when a determination  
14 is made as to how much money to allocate to the  
15 applicant or whatnot.

16 COMMISSIONER HOFF: Gotcha. Okay.

17 So the only part that we have is  
18 determining whether it's in --

19 MR. WELLS: Critically endangered.

20 COMMISSIONER HOFF: -- imminent danger,  
21 right.

22 And do the applicants -- are they waiting  
23 until all of them have been sorted, reviewed,  
24 and funds are being disbursed, or is it -- or  
25 will they be disbursed as they go?

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1 MR. WELLS: Through the Chair to  
2 Commissioner Hoff, the intent right now is to  
3 release all the applications -- or the  
4 announcements, who's been eligible, or -- for  
5 funding all at the same time.

6 COMMISSIONER HOFF: Okay.

7 MR. WELLS: There is one thing to note,  
8 too. There's some potentially pending  
9 legislation that we plan to introduce to  
10 Council to update the REHAB guidelines to make  
11 it a little bit easier for applicants in the  
12 future. So we are planning to roll that out  
13 fairly shortly here.

14 COMMISSIONER HOFF: Okay. And I do not  
15 believe that any funding is in the upcoming  
16 budget as of now; is that correct?

17 MR. WELLS: For now, no.

18 COMMISSIONER HOFF: Right. Okay.

19 Thank you.

20 THE CHAIRMAN: That was a lot of  
21 questions, Mr. Hoff.

22 COMMISSIONER HOFF: Sorry.

23 THE CHAIRMAN: I have to ask you, they  
24 seemed very pointed. Was there -- is there  
25 something you're interested in specifically or

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1 is this just curiosity?  
 2 COMMISSIONER HOFF: Just to be more  
 3 familiar with the process, yeah.  
 4 THE CHAIRMAN: Question for staff while  
 5 they're preparing -- question for staff or  
 6 Legal. The rescheduled meeting for today --  
 7 today's rescheduled meeting for September 11th,  
 8 the agenda items that are here with us today,  
 9 is there the potential for things to be added  
 10 to them or no?  
 11 MS. LOPERA: To the Chair, yes, things  
 12 could be added. That's -- it's not a  
 13 rescheduled meeting. This is going to be  
 14 considered, like, a special meeting that you're  
 15 considering an additional meeting.  
 16 THE CHAIRMAN: So the agenda could be  
 17 different than it is today for --  
 18 MS. LOPERA: It could hold additional  
 19 items, that's correct.  
 20 THE CHAIRMAN: Thank you.  
 21 MS. LOPERA: So I was asked to provide you  
 22 with information. You don't see this a lot,  
 23 but claims of economic hardship, and there --  
 24 there is a whole section of it in the Ordinance  
 25 Code. And if -- should someone make a claim of  
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1 undue economic hardship, I wanted you all to be  
 2 prepared for, what does that mean, what does  
 3 that entail, how do I analyze this?  
 4 So the Ordinance Code -- and this is all  
 5 from Chapter 307. The Ordinance Code states  
 6 that, "No decision of the Commission shall  
 7 result in undue economic hardship for the  
 8 property owner." So the next logical question  
 9 is, what is undue economic hardship?  
 10 There is a definition within the Ordinance  
 11 Code -- I have it here on the sheet -- and that  
 12 is from Section 307.102(t), if anyone wants to  
 13 look it up. But it's on here, on your sheet.  
 14 It's the onerous and excessive financial burden  
 15 as determined by you all, the Commission, that  
 16 would be placed on a property owner by the  
 17 denial of a COA or similar burden by  
 18 conditions -- that would result from conditions  
 19 that you attached to a COA.  
 20 So where someone is making a specific  
 21 claim of undue economic hardship, the applicant  
 22 is required to demonstrate -- and you are  
 23 required to make three specific findings, and  
 24 those are on your sheet.  
 25 Number one is, you are to determine if the  
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1 owner would be entitled to a COA without  
 2 considering undue economic hardship.  
 3 Number two is, determine whether the owner  
 4 actually demonstrated undue economic hardship.  
 5 Number three is to determine the extent,  
 6 if any, to which the owner or applicant caused  
 7 or created such economic hardship through any  
 8 activity, inactivity, or neglect.  
 9 So those are three separate findings that  
 10 you would need to make on any of these claims.  
 11 You can do that all in one hearing, unless the  
 12 applicant requests to have a separate hearing  
 13 on each item.  
 14 On the back, you will see the evidence  
 15 that owners or -- property owners or applicants  
 16 can submit any or all of these things. There's  
 17 13 items there that could help you make your  
 18 decision on whether it's undue economic  
 19 hardship.  
 20 And do note, at the very bottom -- the  
 21 Ordinance Code does say that you may require  
 22 that a property owner provide additional  
 23 information you believe is relevant, so you can  
 24 ask for anything else that you need.  
 25 So that's a brief overview of undue  
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1 economic hardship. Does anyone have any  
 2 questions?  
 3 COMMISSIONER HOFF: Yes, ma'am.  
 4 Do you or Mr. Wells recall the last  
 5 example of this actually going through all the  
 6 way?  
 7 MR. WELLS: Through the Chair to  
 8 Commissioner Hoff, from my understanding, it  
 9 has not happened -- it's been more than two  
 10 years for sure, so I don't even -- I can't even  
 11 recall when it's been successfully granted.  
 12 MS. LOPERA: Through the Chair to the  
 13 Commission, I've never seen it.  
 14 THE CHAIRMAN: So does that suggest  
 15 there's difficulty in that, that this is an  
 16 arduous process, or --  
 17 MS. LOPERA: To the Chair, I wouldn't say  
 18 it's arduous. It's just, if a property owner  
 19 is going to make this affirmative claim of  
 20 undue economic hardship, they need to  
 21 demonstrate those things.  
 22 I hear a lot of vague claims of it. "It's  
 23 really expensive," but people aren't prepared  
 24 to actually demonstrate the things they need to  
 25 make that claim.  
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1 THE CHAIRMAN: Yeah. Just to state, I  
2 asked that this be spoken to today because I  
3 think we all just need to be really aware of  
4 that, right? Because we do hear many things  
5 here, and we can only take people at their  
6 word, but this requires -- which I always do,  
7 until proven otherwise, but in this situation,  
8 we have to -- it has to be -- it has to be  
9 evidence of (inaudible). And so I just wanted  
10 to bring that to our attention.

11 COMMISSIONER GREGORY: And to my  
12 understanding, when we make decisions on these  
13 COAs, it's -- we're not supposed to consider  
14 the cost of the materials. We're supposed to  
15 consider appropriateness for historic  
16 preservation, not the cost to the homeowner or  
17 the owner of the property; is that correct?

18 MS. LOPERA: Through the Chair to  
19 Commissioner Gregory, there are -- you know,  
20 there's different -- for each different type of  
21 COA, there's different things to consider. And  
22 in that vein, whatever you find relevant could  
23 be considered.

24 But this undue economic hardship is a very  
25 specific claim. Do you know what I mean? And  
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1 it has a very -- specific elements that need to  
2 be shown.

3 THE CHAIRMAN: The applicant has taken a  
4 very specific path and is being held  
5 accountable to prove the (microphone failure)  
6 of that.

7 MS. LOPERA: And I know the evidence page  
8 is kind of long because there are 13 and  
9 they're typed straight from -- verbatim from  
10 the Ordinance Code, but I did find it  
11 interesting and would like to point out a  
12 couple.

13 Like, Number 2, where it talks about a  
14 report from a licensed engineer, contractor or  
15 architect with experience in rehabilitation as  
16 to the structural soundness of the structure  
17 and their suitability for rehabilitation --  
18 because I know you see a lot of reports and  
19 letters from various experts, but considering  
20 whether they actually have experience in  
21 rehabilitation is a relevant aspect of how much  
22 weight you give a report or a letter.

23 There's another -- Number 4, in the case  
24 of a proposed demolition, an estimate from an  
25 expert with experience in rehabilitation.

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1 So just some things -- food for thought.  
2 You know, read through this. If you have  
3 questions, I'm happy -- always happy to answer  
4 any, now or email or phone, any time.

5 THE CHAIRMAN: Any other questions about  
6 this?

7 COMMISSION MEMBERS: (No response.)

8 THE CHAIRMAN: No?  
9 Okay? Anything else to cover today?

10 MR. WELLS: I will say one thing.  
11 (Microphone failure.)

12 MS. PRYOR: Will there be general public  
13 comment?

14 MR. WELLS: Just something -- food for  
15 thought for next time --

16 (Microphone failure.)

17 MR. WELLS: Through the Chair to the  
18 Commission --

19 (Microphone failure.)

20 THE CHAIRMAN: Question for Legal, while  
21 they're switching, will this memorandum be sent  
22 to the other commissioners that aren't present  
23 today, or email, or can it be?

24 MS. LOPERA: To the Chair, I can provide  
25 them copies or send it to them.

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1 I can send you all copies individually if  
2 you'd prefer.

3 THE CHAIRMAN: That would be great.

4 MS. LOPERA: All right.

5 MR. WELLS: One quick thing for the  
6 Commission, just something to consider for next  
7 month's meeting. I wanted to get a little bit  
8 of discussion in regards to a request we've had  
9 from an applicant, and I think this may be  
10 happening a little bit more in the future.

11 We have a request to -- to basically cover  
12 the well -- the water wells in the front yards  
13 with some type of decorative material or  
14 covering. So in this instance, we had an  
15 applicant that wants to do a rock to cover up  
16 their well, and so --

17 Just something to ponder in terms of what  
18 would be an appropriate option here because  
19 we've had some discussions as staff and we  
20 really would value the Commission's input on  
21 what they consider (microphone failure).

22 THE CHAIRMAN: And just as part of that  
23 consideration, just to understand, the -- the  
24 playing field here. The positioning of these,  
25 directly in the front yard, in such a -- you

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1 know, full -- in full view, is this just -- no  
 2 way around it from a (microphone failure)  
 3 requirement of the City in terms of engineering  
 4 and planning and (microphone failure) --  
 5 (Reporter inquiry.)  
 6 THE CHAIRMAN: Is the location of these --  
 7 the unsightly sort of location of these in the  
 8 front yards of the historic structures, is  
 9 this -- or is there no other choice? Is it a  
 10 cost thing? Do the owners have other choices  
 11 and it's strictly cost related and that's why  
 12 they're being put close to the street?  
 13 MR. WELLS: Through the Chair to  
 14 Commission Montoya, that is correct.  
 15 Mainly, it stems from a cost savings  
 16 piece. Connectivity in our Land Development  
 17 Regulations does allow for applicants to  
 18 install water wells when there's not a nearby  
 19 connection that's feasible for -- from an  
 20 economic standpoint.  
 21 THE CHAIRMAN: Is there -- and do we  
 22 have -- thank you. I didn't mean to interrupt  
 23 you, but do we have an actual -- like, a kind  
 24 of -- like, is it a 10-point swing or 20 or  
 25 a -- do we have any idea about the monetary  
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1 difference in locating that in the backyard  
 2 rather than in the front yard?  
 3 MR. WELLS: Through the Chair to  
 4 Commissioner Montoya, I do not have any  
 5 numbers. I'm happy to look that up, but, yeah,  
 6 I don't have anything --  
 7 THE CHAIRMAN: I'm getting -- sorry, I  
 8 want us to have things to think about in this  
 9 regard because I understand economic hardship.  
 10 We just talked about it, right? I understand  
 11 that things cost money, but this is a historic  
 12 district and these are very unsightly.  
 13 Commissioner Hoff.  
 14 COMMISSIONER HOFF: Through the Chair, so  
 15 I am familiar with some of these out in the  
 16 community, and I can't say for certain -- you  
 17 know, the staff has not shared the exact  
 18 location of these and which properties they are  
 19 referring to, but I'm thinking of some.  
 20 And I had a discussion with the builders  
 21 about this, and I helped facilitate a  
 22 conversation with a well company that could  
 23 keep the actual well in the front yard but move  
 24 the large equipment further back, which can be  
 25 done at a, you know, relatively modest  
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1 additional cost.  
 2 THE CHAIRMAN: But was there a number put  
 3 to that? Like --  
 4 COMMISSIONER HOFF: With --  
 5 THE CHAIRMAN: (Inaudible.)  
 6 COMMISSIONER HOFF: It was estimated to be  
 7 around a thousand dollars to move the --  
 8 THE CHAIRMAN: Was there a cost per foot?  
 9 COMMISSIONER HOFF: -- large equipment to  
 10 the -- you know, further back to -- you know,  
 11 somewhere behind the front facade of the house.  
 12 That was just an estimate, so ...  
 13 COMMISSIONER GREGORY: I can say from  
 14 experience, working with these wells, I mean,  
 15 when it's a drinking water well, you can't put  
 16 it directly next to the house, like, behind the  
 17 fence, on the side yard. It's -- it's just  
 18 too -- you can't do that for drinking water.  
 19 I don't know why they can't go in the  
 20 backyard, I'm kind of with you on that, if  
 21 there's enough backyard.  
 22 And then, additionally, just the -- just  
 23 feedback to Mr. Wells. You know, I -- that's a  
 24 big old rock, and I don't see a bunch of  
 25 boulders hanging out here in Jacksonville,  
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1 Florida. I would prefer some sort of heavy  
 2 landscaping, even, to that. You know, that's a  
 3 little funny looking here, you know --  
 4 THE CHAIRMAN: You certainly wouldn't hide  
 5 a key under it.  
 6 COMMISSIONER HOFF: One other thing  
 7 that's -- at least I think is somewhat related  
 8 is that these types of issues do come up from  
 9 time to time when you're discussing  
 10 communication infrastructure, like certain  
 11 types of utility boxes.  
 12 And, typically, I believe those, if  
 13 approved, they are located along the property  
 14 lines as -- so they're not directly in front of  
 15 the property, so -- yeah.  
 16 THE CHAIRMAN: And question for staff.  
 17 And maybe this is for Legal as well.  
 18 I mean, I am certainly opposed to that  
 19 boulder. I mean, that isn't -- that doesn't  
 20 belong in Southeast Florida. That is -- it's  
 21 kind of -- you know, I understand it's not  
 22 contextual for us.  
 23 I would say, the next question is, is this  
 24 something that we can start addressing in  
 25 the -- as part of the design guidelines as a  
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1 requirement for an HOA -- or, I'm sorry, for an  
2 HPC COA application?

3 Like, in the site plan, seeing where  
4 they're proposing to locate this, like, are  
5 you -- is that a question? Are you going to  
6 have this infrastructure? What's its location?  
7 And that's something that we could review or is  
8 it not? Is it out of our purview as HPC to  
9 review these kinds of things? Because --

10 My argument is, this -- the location of  
11 this, if it's in the front yard, is affecting  
12 the fabric of our neighborhood. Like, the very  
13 design guidelines that we use to review these  
14 projects focuses on the envelope of the  
15 building, the street, the relationship of the  
16 house or the building to the street.

17 And so there's an element being in that  
18 area and in that zone. I think it should be  
19 part of that discussion, part of that approval.

20 MR. WELLS: Through the Chair to the  
21 Commission as well, I mean, this certainly does  
22 not fall outside of your authority or scope.

23 The staff, of course, has the discretion  
24 to forward anything that we don't feel  
25 comfortable or inclined to support

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1 administratively, to forward it to you-all,  
2 so --

3 In this instance, this is exactly what we  
4 wanted to do, to get some feedback and some  
5 sentiment.

6 One thing that we can do, we can approach  
7 this moving forward -- if this becomes a  
8 frequent issue or problem, we can develop some  
9 type of design guidelines. We can also  
10 incorporate some criterion in terms of our  
11 matrix for next year.

12 But there's a couple of approaches we can  
13 do. We can cite it, of course, appropriately;  
14 design to scale, et cetera, but that's all up  
15 for fair game.

16 THE CHAIRMAN: I mean, is this something  
17 that I can just request or is this something  
18 that we have to have a quorum to vote on with  
19 Robert's Rules of Order or -- no?

20 Because I -- and I would like to hear  
21 from -- and I think you agree. I saw a nod of  
22 your heads, but I think that ought to be part  
23 of the application process or the site plan.

24 Like, if you're applying for a COA, we  
25 need -- we should see where the -- we should

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1 see where this is being located, and I think we  
2 should -- we should review whether we agree  
3 with it being in the front yard, like it's  
4 being done.

5 MR. WELLS: My apologies, Commissioner  
6 Montoya. I was under the impression that you  
7 were asking about just the covering of  
8 the well, and --

9 THE CHAIRMAN: No, I'm taking a step back.  
10 Yeah, because the location of it is  
11 incorrect with our fabric.

12 MR. WELLS: So you want to have the  
13 ability to determine whether -- or where  
14 utility connections are located on the  
15 property?

16 THE CHAIRMAN: I --

17 MR. WELLS: Yeah, I don't -- I'll need  
18 to -- I don't have -- I can't answer that right  
19 now. I'll have to do some digging in terms of  
20 our code --

21 THE CHAIRMAN: I'm willing to make that  
22 argument. I think that we, as a Commission,  
23 should be willing to make that argument because  
24 I think that that is affecting the fabric --  
25 the historic fabric.

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1 And if there are other ways to do it that  
2 are, say, in the grand scheme of things, a very  
3 low percentage of the overall cost of the  
4 project, then I think we could -- I think that  
5 I could, in good conscience, vote on that.

6 MR. WELLS: Okay.

7 THE CHAIRMAN: I think it's worth  
8 considering.

9 Fellow commissioners --

10 MR. WELLS: Through the --

11 COMMISSIONER GREGORY: If we're worried  
12 about it as far as historic preservation, we're  
13 very worried about what the house looks like  
14 when you drive by, the exterior view from the  
15 street -- is always what we consider. And so  
16 if we're putting a giant piece of mechanical  
17 hardware in the front yard, I think, yes, it  
18 should be considered.

19 I mean, that's -- I mean, they need water.  
20 I'm not trying to deny these people water, but  
21 I -- but we have to consider how that's going  
22 to look when they build a new home, when you  
23 put this big, you know, pump, and everything  
24 you see there, in the front of the house.  
25 That's something to consider.

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1 If we have the ability to say, move it to  
2 a side yard or the backyard or whatever options  
3 there are at the time for that particular  
4 property, I think that should be considered as  
5 part of these projects, I agree.

6 MR. WELLS: One thing -- just another  
7 comment from staff's standpoint.

8 So one -- I think one of the -- one of the  
9 first times that this issue arose is -- we had  
10 an applicant that came in for a COA, new  
11 construction, they identified where the house  
12 was going to go, but they didn't identify where  
13 the connections or utilities were, and so that  
14 came during permitting. So that was outside of  
15 our scope at that point in time.

16 So that's something we can start asking on  
17 the front end, where the utilities will be  
18 connect- -- or will be located.

19 THE CHAIRMAN: At least then there's a  
20 trail. Like, that question was asked as part  
21 of the process. And if it comes before us as  
22 something that is moving, you know, against the  
23 design guidelines, at least we have something  
24 to stand on.

25 I think, though, that -- I mean, we don't  
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1 have time for that today, but I think that --  
2 the comment about, once it goes to permitting,  
3 totally understand it, but that's another  
4 conversation we need to have at some point,  
5 about getting some more communication with  
6 permitting understanding what we're doing here,  
7 you know, because I think they have a pretty  
8 good idea about it, but there are things that  
9 seem to slip here and there.

10 MR. WELLS: Okay.

11 THE CHAIRMAN: And I think that's a --  
12 that's a discussion we need to have as well.

13 Is there -- you seem like you're thinking  
14 a lot.

15 MS. LOPERA: No, no.

16 To the Chair, I was just -- I think, yeah,  
17 staff and Mr. Wells has heard you, and I think  
18 he'll request those things on new construction  
19 COAs. And that's not anything you need to vote  
20 on, and then you can have that information the  
21 next time you are (inaudible) that new  
22 construction COA.

23 THE CHAIRMAN: We should -- I didn't  
24 realize that (microphone failure) public  
25 comment, so I do want to open the floor to

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1 public comment if anyone wants to come forward.  
2 (Ms. Pryor approaches the podium.)

3 THE CHAIRMAN: Have you filled out a card?  
4 MS. PRYOR: I will.

5 THE CHAIRMAN: Okay. Just -- you don't  
6 have to get sworn in, just make sure you fill  
7 out a card.

8 MS. PRYOR: Okay. Thank you for the  
9 public comment time.

10 MS. LOPERA: Name and address for the  
11 record, please.

12 MS. PRYOR: I'm sorry?

13 MS. LOPERA: Name and address for the  
14 record, please.

15 MS. PRYOR: Sure.

16 Kim Pryor, 245 West 5th Street.

17 Real quick. As I was listening to your  
18 discussion regarding the demolition by neglect  
19 task force, I don't know if this is something  
20 to be considered or not, but I wanted to  
21 mention to be careful about the number of  
22 commissioners that you actually place on that  
23 task force, as to whether that may impact any  
24 future votes by the Commission as far as  
25 recusal.

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1 So I don't know if that is something that  
2 you would need to consider. If you put four  
3 commissioners on, then that would leave you  
4 with only three to vote if you had to recuse  
5 yourself from a vote in determining a property  
6 as being demolition-by-neglect eligible. So it  
7 was just something I wanted to throw out there  
8 for you guys to think about.

9 THE CHAIRMAN: That's a great comment,  
10 although, I think, as long as we have a  
11 quorum -- oh, I'm sorry.

12 MS. PRYOR: And then the other thing that  
13 I wanted to ask is -- there were -- there were  
14 staff reports in the book for today for  
15 everything except the two demolition delays for  
16 downtown, and so I -- I know that -- or I  
17 believe that staff prepares a report because  
18 they go through and -- to determine if it's  
19 eligible for a landmark, but that information  
20 is not available to the public in the book, and  
21 so I am --

22 I would like to know if that should be  
23 included. And if so, when that will be made  
24 available to the public so that we can be aware  
25 of what the staff recommendation is before we

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1 come to the meeting.  
 2 THE CHAIRMAN: Before a response, is there  
 3 anything else that you wanted to say or is  
 4 that --  
 5 MS. PRYOR: No. Those were the two items  
 6 that I wanted to ask.  
 7 THE CHAIRMAN: While he's looking at that,  
 8 I think that -- the first part, though, as long  
 9 as we have a quorum at this meeting, some of us  
 10 may have to recuse ourselves from voting, but  
 11 the -- the item can still be voted on by the  
 12 members of the Commission that are here to  
 13 vote; is that right?  
 14 MS. LOPERA: To the Chair, could I get a  
 15 clarification? Recusing yourself on what?  
 16 THE CHAIRMAN: Like, in the case of  
 17 ex parte, or you may deem that I may have to  
 18 recuse myself from voting on an item on the  
 19 agenda, as long as we have a quorum that day,  
 20 the rest of the commissioners can vote and I  
 21 just don't vote, right?  
 22 MS. LOPERA: Correct.  
 23 As long as we have a quorum, you can take  
 24 up an item, even if people are abstaining,  
 25 that's correct.

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1 You pull up the dividers here, you scroll down  
 2 to the demo delays at the bottom of the  
 3 agenda -- I'm scrolling past here, and the  
 4 report is on the next page.  
 5 MS. PRYOR: Okay. Is that new? Because I  
 6 downloaded it and I didn't see it, so -- I  
 7 could have missed it, but --  
 8 MR. WELLS: No, the book has not been  
 9 updated, so it's the same book that I sent out  
 10 on the Friday prior.  
 11 MS. PRYOR: Okay. Well, my apologies,  
 12 then, if it's there, so -- I'm, obviously, not  
 13 perfect, so thank you.  
 14 Appreciate the time.  
 15 THE CHAIRMAN: All right. Anyone else  
 16 want to make a public comment?  
 17 AUDIENCE MEMBERS: (No response.)  
 18 THE CHAIRMAN: Okay. Is there anything  
 19 else that we need to talk about?  
 20 COMMISSION MEMBERS: (No response.)  
 21 THE CHAIRMAN: This meeting is adjourned.  
 22 Thank you, everyone.  
 23 (The foregoing proceedings were adjourned  
 24 at 4:40 p.m.)  
 25 - - -

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1 And as far as participation on the task  
 2 force, it shouldn't require you to abstain on  
 3 later votes.  
 4 THE CHAIRMAN: It's definitely something  
 5 to consider, though.  
 6 COMMISSIONER GREGORY: My impression of  
 7 the task force is that this is -- that is more  
 8 of a high-level determination of what is  
 9 demolition by neglect and how to deal with that  
 10 moving forward, not so much any specific  
 11 properties that anybody would bring up.  
 12 That was my understand- -- I doubt we'd  
 13 have to recuse ourselves --  
 14 THE CHAIRMAN: More process than  
 15 specifics.  
 16 COMMISSIONER GREGORY: Yeah. Exactly,  
 17 yeah.  
 18 THE CHAIRMAN: Arimus.  
 19 MR. WELLS: Through the Chair to  
 20 Ms. Pryor, just for the record and just to make  
 21 sure it's accurate, the demo delay report is  
 22 included in the book. I'm looking at it right  
 23 now.  
 24 If you go to our website, if you click on  
 25 the book, it will pop up in a separate tab.

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1 CERTIFICATE OF REPORTER  
 2  
 3 STATE OF FLORIDA)  
 4 )  
 5 COUNTY OF DUVAL )  
 6  
 7 I, Diane M. Tropia, Florida Professional  
 8 Reporter, certify that I was authorized to and did  
 9 stenographically report the foregoing proceedings and  
 10 that the transcript is a true and complete record of my  
 11 stenographic notes.  
 12  
 13  
 14  
 15 DATED this 13th day of September 2024.  
 16  
 17  
 18 \_\_\_\_\_  
 19 Diane M. Tropia  
 20 Florida Professional Reporter  
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*Public  
Hearing  
on  
Applications*



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



***B.***

***Deferred  
Items***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION

***C.***

***Consent  
Agenda***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION

**COA-24-30395**

**2050 Liberty  
Street North**

**September 25, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-30395**

**Address:** 2050 North Liberty Street, RE# 055193-0000

**Location:** West side of North Liberty Street, between East 10<sup>th</sup> Street and East 11<sup>th</sup> Street

**Owner:** Adam Eiseman  
Hoose Homes and Investments, LLC  
7563 Philips Highway, Suite 109  
Jacksonville, Florida 32256

**Applicant:** Mitchell Askelson  
JWB Real Estate Companies, LLC  
7563 Philips Highway, Suite 109  
Jacksonville, Florida 32256

**Year Built:** N/A

**Designation:** Springfield

**Request:** New Construction (Two-Story Single-Family Residence)

**Summary Scope of Work:**

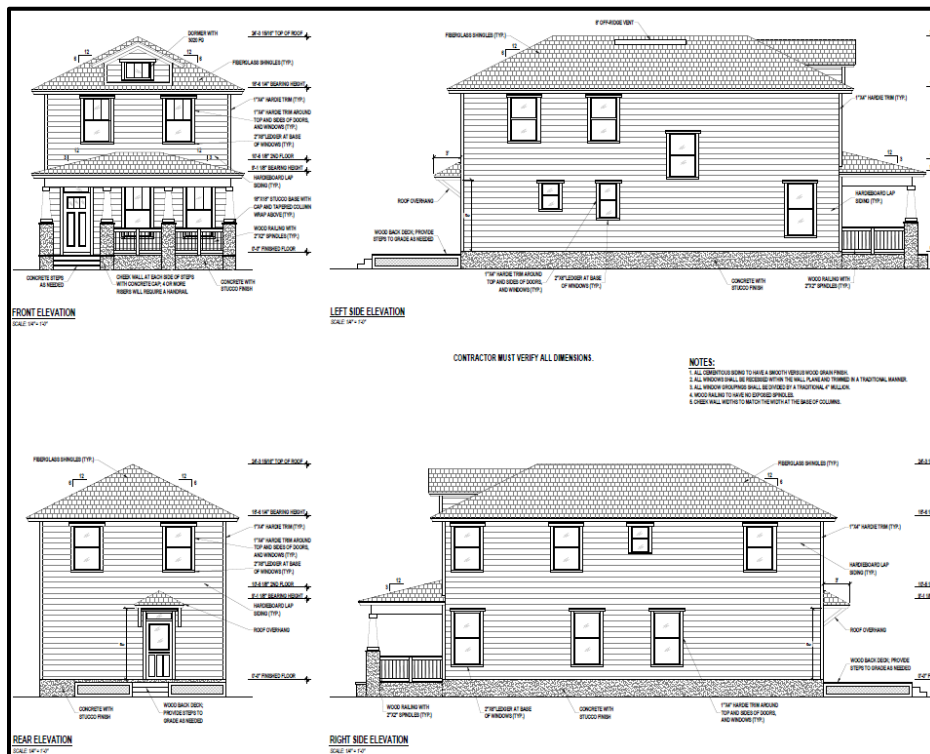
1. New construction (two-story single-family residence)

**Recommendation:** **Approve with Conditions**

**Conditions:**

1. Materials, design, and height shall be substantially consistent with the elevation drawings dated **December 29, 2023**, or as otherwise approved by the Historic Preservation Section.
2. Location and orientation shall be as substantially shown on the site plan dated **February 2, 2024**.
3. Prior to permitting, the applicant shall demonstrate that the front setback will be within 25 percent of the average required front yard of adjacent contributing structures (RE: 055195-0000 and 055192-0000).
4. If a well is required for water service, it shall be placed in the rear yard or a non-street visible location.
5. Columns shall have caps and bases.
6. The fascia boards and soffits shall be composed of wood or a cementitious material (no vinyl or PVC).

7. The siding shall be installed with the smooth side facing outward.
8. The porch railing system shall be made of wood or wood composite, and the spindles shall be set in between an upper and lower railing with no exposed ends.
9. The front entry walkway shall be limited to the width of the front porch steps and shall be composed of brick-like pavers, poured concrete, or hexagonal brick pavers.
10. The front door shall have clear glass without any decorative etching or frosted glass.
11. All windows shall be installed in accordance with the latest version of the HPS Window Supplement.
12. Prior to the final inspection of any building permit, the owner or their agent shall submit to the Historic Preservation Section an affidavit and any supplementary evidence that verifies compliance with all conditions of the COA final order.



**PROJECT DESCRIPTION**

COA-24-30395 seeks to construct a two-story single-family home within the Springfield Historic District. The subject site is currently a vacant interior lot that is approximately eighty-seven (87) feet long and thirty-six (36) feet wide. The surrounding residential structures along this block are mostly one-story and two-story homes with full-width porches. As designed, the proposed two-story home will consist of a hip roof, dormer, and full-width porch. Primary materials of the structure include fiberglass shingles for the roof, three-over-one windows on the façade, one-over-one windows, Hardie board lap siding, wood railing with two-by-two spindles, concrete block foundation with stucco finish, and tapered columns with caps and bases.

**STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Springfield Historic District and the Ordinance Code criteria found in Sections 307.106(k), 307.106(l), 307.106(m), 307.106(n), and 307.106(o). The following is Staff's analysis:

- Development of a two-story single-family home on a vacant lot amidst other one-story and two-story residential homes provides for compatible reuse of an infill lot in the Springfield Historic District and contributes to the residential streetscape. The design of the full-width front porch ensures a compatible relationship with other properties in the historic district; the frame vernacular style is consistent with the architectural styles of the neighborhood. Therefore, the proposed development is consistent with Sections 307.106(k)(1 and 2).
- The proposed work can be completed within a reasonable period of time, consistent with Section 307.106(k)(4).
- The overall height of the proposed structure from the finished floor is approximately twenty-five (25) feet, which is compatible with the heights of the adjacent structures. Contributing structures of one-story and two-story single-family homes are the dominant residential development typology along this block. The scale and massing of the proposed structure are reasonably consistent with other surrounding two-story residences. The front and side setbacks as shown on the site plan dated February 23, 2024, are consistent with other nearby structures and have been conditioned to ensure compatibility. For these reasons, the development is consistent with Sections 307.106(m)(1, 3, and 6).
- The proposed elevations show three-over-one, 3-grid, and one-over-one patterned windows with a header height window design characteristic in the Springfield Historic District. The majority of the windows are vertically oriented and of a traditional size. A transom light is above the front door, and the quarter-light door has 3-grid glass panes and two vertical panels, which can be found on other structures within the District. Consistent with Section 307.106(m)(2), the proportions and relationships between the windows and doors are compatible with the architectural style of structures in the neighborhood.
- Consistent with Section 307.106(m)(4), the design of the hip roof form is compatible with the roof forms within the District, and similar roof forms are found surrounding the property as well.
- The proposed design of the new structure maintains the alignment of windows and sills, uniformed openings, and horizontal rhythms along the streetscape. As such, the proposed structure is compatible with the directional expression of surrounding structures and consistent with Section 307.106(m)(7).
- Consistent with Section 307.106(m)(8), the proposed design of the structure contains many architectural details that are in keeping with historic elements found throughout the Springfield Historic District. Such details include:
  - The Hardie board lap siding, a contemporary material used to replicate the finish and dimension of wood lap siding, which is common in Springfield;
  - Concrete foundation with stucco finish;

- Vertically-oriented windows spaced evenly throughout the structure; and
- Tapered porch columns with caps and bases.
- The Historic District Design Guidelines for the Springfield Historic District references “New Construction” and lists Standards Two and Nine of the *Secretary of the Interior’s Standards for Rehabilitation*. Standard Two refers to the relationship of new construction to adjacent buildings, landscape and streetscape features, and open spaces. The relationship of the proposed building to the surrounding context is described above. Standard Nine emphasizes that new construction shall not destroy historic materials and is differentiated from the old while being compatible in massing, size, scale, and architectural features in order to preserve the historical integrity of the property and its immediate surroundings. No historic fabric will be impacted since the new construction is infill of a vacant residential lot. Also, the proposed new construction is compatible with the surrounding residential structures. The proposed residence is differentiated from historic structures by the finish and materials used, and is generally compatible with the massing and architectural features of adjacent properties.

For these reasons, it is the position of the Planning and Development Department that the proposed work under the stated conditions is consistent with:

- Section 307.106(k) General Standards: 1, 2, and 4
- Section 307.106(m) Guidelines on New Construction: 1, 2, 3, 4, 6, 7, 8
- Historic District Design Guidelines, Section on “New Construction”

## **CODE CRITERIA AND DESIGN GUIDELINES**

### **General Criteria**

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;
- 307.106(k)(4) - Whether the plans may be carried out by the applicant within a reasonable period of time.

### **New Construction**

- 307.106(m)(1) - *Height*. The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in an historic district.
- 307.106(m)(2) - *Proportions of windows and doors*. The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in an historic district.

- 307.106(m)(3) - *Relationship of building masses, setbacks and spaces.* The relationship of a structure within an historic district to the open space between it and adjoining structures shall be compatible.
- 307.106(m)(4) - *Roof shape.* The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in an historic district.
- 307.106(m)(6) - *Scale.* The scale of the structure after alteration, construction, or partial demolition shall be compatible with its architectural style and character and with surrounding structures in an historic district.
- 307.106(m)(7) - *Directional expression.* Facades in historic districts shall blend with other structures with regard to directional expression. Structures in an historic district shall be compatible with the dominant horizontal or vertical expression of surrounding structures. The directional expression of a landmark after alteration, construction, or partial demolition shall be compatible with its original architectural style and character.
- 307.106(m)(8) - *Architectural details.* Architectural details including materials and textures shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district. The Commission will give recommendations as to appropriate colors for any landmark or historic district.

#### **Historic District Design Guidelines, “New Construction”**

- Secretary of the Interior’s Standards for Rehabilitation (2): The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Secretary of the Interior’s Standards for Rehabilitation (9): New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.



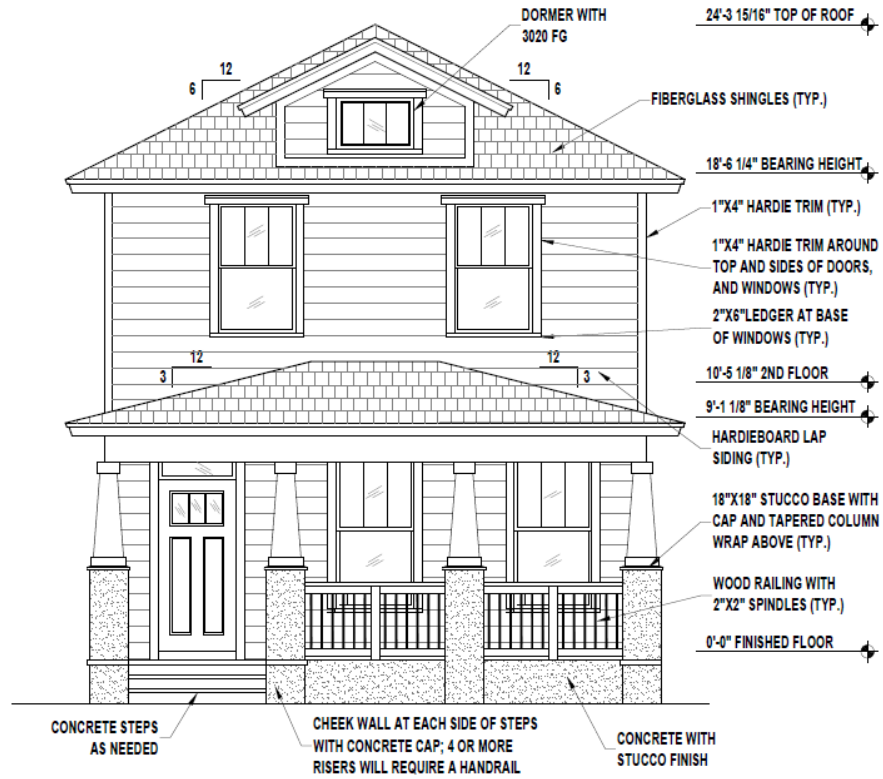
### LOCATION MAP



**PICTURE OF SUBJECT PROPERTY WITH POSTED SIGN**

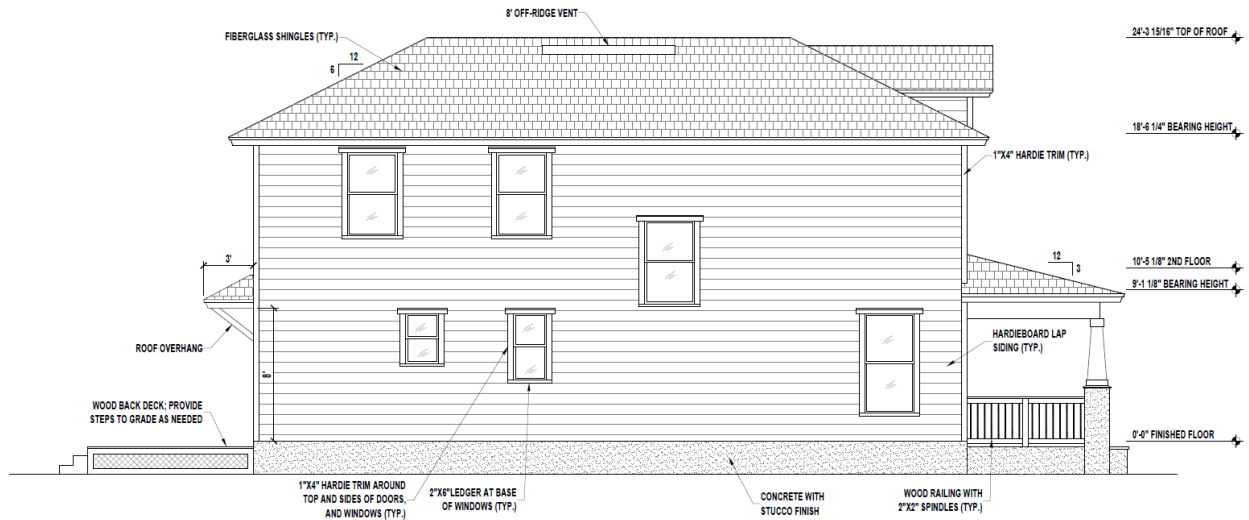


**ELEVATION PLANS DATED DECEMBER 29, 2023**



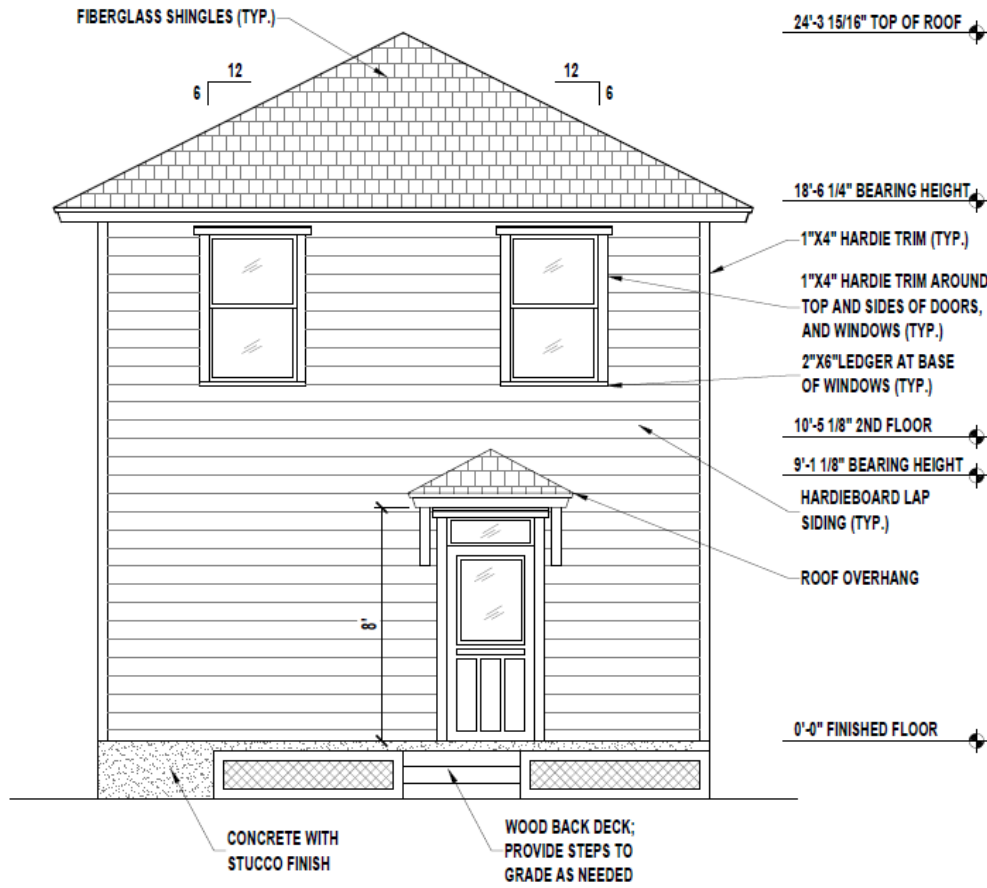
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



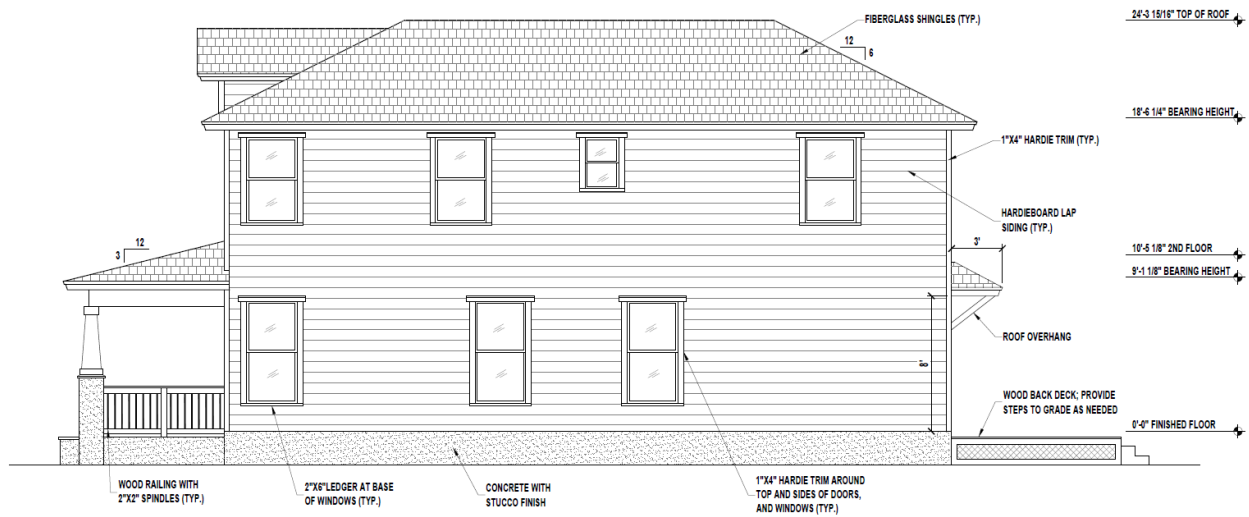
**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

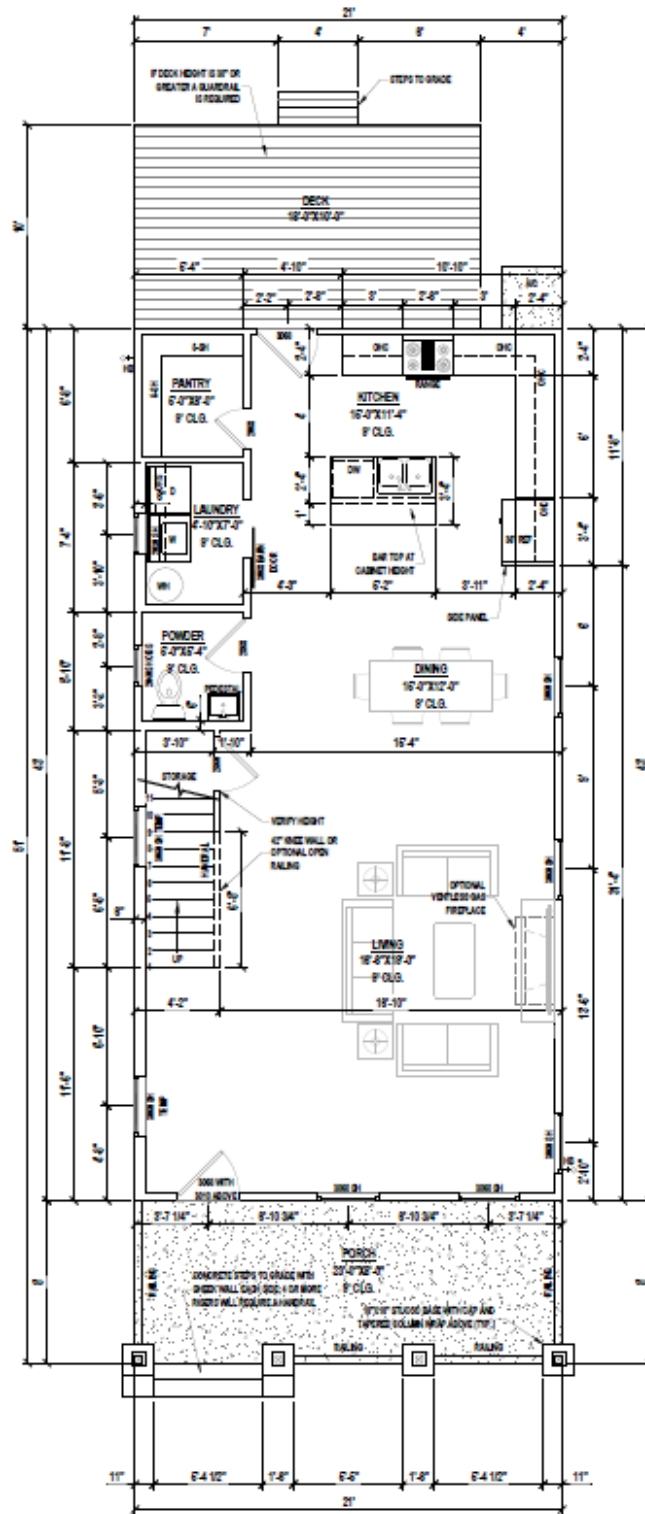
SCALE: 1/4" = 1'-0"



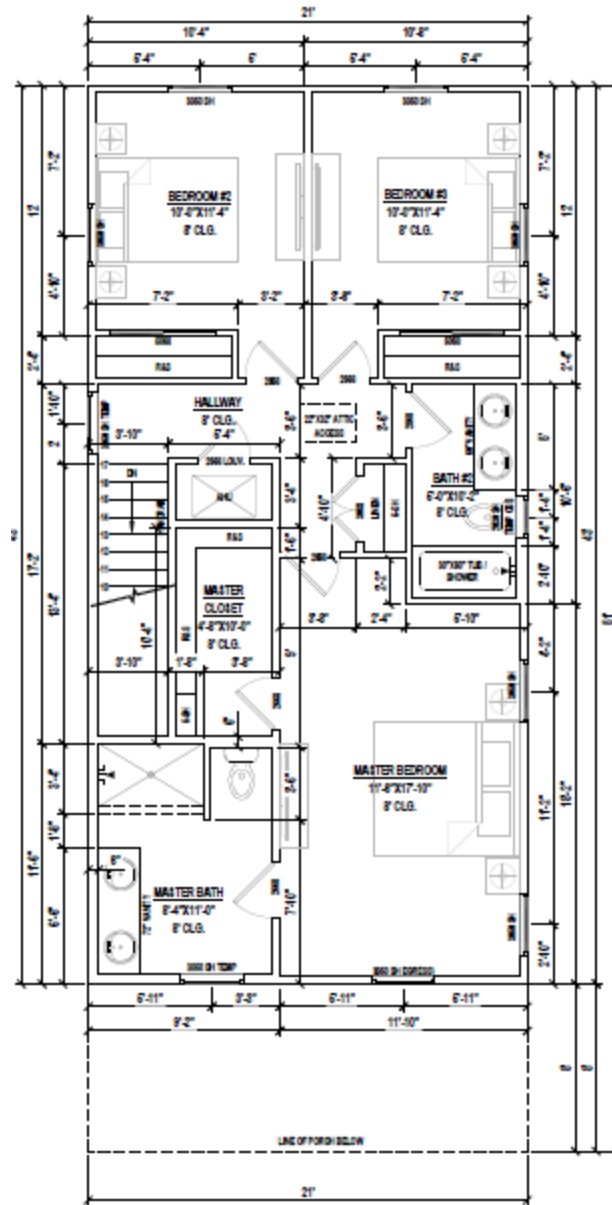
**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**FLOOR PLANS DATED DECEMBER 29, 2023**



**1ST LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2ND LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"







# City of Jacksonville, Florida

## Planning and Development Department

ONE CITY. ONE JACKSONVILLE.

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: 9/11/24  
Address: 2050 Liberty St N  
Jacksonville, FL 32204

COA#: 24-30395  
Owner: House Homes + Investments

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application 24-30395 were posted on the property/site located at:

055193-0000  
Real Estate Number(s)

2050 Liberty St N  
Street Address

Jacksonville, FL 32204  
City, State Zip Code

Printed Name Mitchell Askelson

Signature [Handwritten Signature]

Dated this 11 day of September, 2024.



## Application For Certificate Of Appropriateness

### Application Info

<b>Tracking #</b>	30395	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	02/27/2024	<b>Date Submitted</b>	02/27/2024

### Planning and Development Department Info

<b>COA #</b>	COA-24-30395
<b>Admin Review</b>	<input checked="" type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	3/29/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	9/25/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

### General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
ASKELSON	MITCHELL	BRIAN
<b>Company Name</b>		
JWB REAL ESTATE		
<b>Mailing Address</b>		
7563 PHILIPS HWY SUITE 109		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32256
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 677 6777	904	

### General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
EISEMAN	ADAM	
<b>Company/Trust Name</b>		
HOOSE HOMES AND INVESTMENTS, LLC		
<b>Mailing Address</b>		
7563 PHILIPS HWY SUITE 109		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32256
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
9046776777	904	MITCH@JWBCOMPANIES.COM

### Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map	RE#
	055193 0000

--	--

### Location Of Property

#### General Location

Springfield Historic District

#### House #

2050

#### Street Name, Type and Direction

LIBERTY ST N

#### Zip Code

32206

### Type Of Improvement

- Addition     Driveway     New Construction     Accessory Structures  
 Alteration     Relocation     Window Replacement     Other  
 Fencing     Demolition     Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.

(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

#### Proposed Work

BUILD 1 NEW CONSTRUCTION SINGLE FAMILY HOME, 3 BED, 2.5 BATH, 1756SQFT.

### Addition Information

Is this a violation? Check the box if it is.

If you have been working with a planner choose one from the list

### New Construction - Required Attachments For Complete Application

- Elevations And Site Plan** - Proposed front, side, and rear elevations and site plan. *(To scale bar scaled dimensional drawings needed. Directional arrows needed.)*
- Materials** - Materials identified and product info.
- Photos Of Homes** - Photos of homes within the block, labeled with address to build context.
- Description Of Any Demo**
- Adjacent Structures Setbacks**

### Additional Documents Provided

	Description
<input checked="" type="checkbox"/>	SITE PLAN

### Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with

comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
HOOSE HOMES AND INVESTMENTS, LLC

### Filing Information

<b>Document Number</b>	L06000002898
<b>FEI/EIN Number</b>	68-0620654
<b>Date Filed</b>	01/09/2006
<b>State</b>	FL
<b>Status</b>	ACTIVE

### Principal Address

7563 Philips Hwy  
Suite 208  
JACKSONVILLE, FL 32256

Changed: 03/23/2018

### Mailing Address

7563 Philips Hwy  
Suite 208  
JACKSONVILLE, FL 32256

Changed: 03/23/2018

### Registered Agent Name & Address

McKillop Law Firm  
7563 Philips Hwy  
Suite 500  
Jacksonville, FL 32256

Name Changed: 04/02/2013

Address Changed: 03/23/2018

### Authorized Person(s) Detail

#### **Name & Address**

Title Manager

Rigel, Adam  
7563 Philips Hwy  
Suite 208

JACKSONVILLE, FL 32256

Title Manager

Eiseman, Adam  
7563 Philips Hwy  
208  
Jacksonville, FL 32256

Title Manager

Sifakis, Alexander  
7563 Philips Hwy  
208  
Jacksonville, FL 32256

Title Manager

Cohen, Gregory  
7563 Philips Hwy  
208  
Jacksonville, FL 32256

**Annual Reports**

Report Year	Filed Date
2022	04/04/2022
2023	04/12/2023
2024	02/15/2024

**Document Images**

<a href="#">02/15/2024 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/12/2023 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/04/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/12/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/26/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/21/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/23/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/22/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/17/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/20/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/30/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/02/2013 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/07/2012 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/28/2011 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/30/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/15/2009 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/19/2008 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/12/2007 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>

[01/09/2006 -- Florida Limited Liability](#)

[View image in PDF format](#)

Florida Department of State, Division of Corporations



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
JWB REAL ESTATE COMPANIES, LLC

### Filing Information

<b>Document Number</b>	L13000127934
<b>FEI/EIN Number</b>	47-3535531
<b>Date Filed</b>	09/10/2013
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	LC ARTICLE OF CORRECTION
<b>Event Date Filed</b>	10/08/2013
<b>Event Effective Date</b>	NONE

### Principal Address

7563 Philips Hwy  
Ste 208  
JACKSONVILLE, FL 32256

Changed: 03/23/2018

### Mailing Address

7563 Philips Hwy  
Ste 208  
JACKSONVILLE, FL 32256

Changed: 03/23/2018

### Registered Agent Name & Address

McKillop Law Firm  
7563 Philips Hwy  
Ste 500  
Jacksonville, FL 32256

Name Changed: 04/30/2014

Address Changed: 03/23/2018

### Authorized Person(s) Detail

#### **Name & Address**

Title Manager

RIGEL, ADAM  
7563 Philips Hwy  
Ste 109  
JACKSONVILLE, FL 32256

Title Manager

SIFAKIS, ALEXANDER  
7563 Philips Hwy  
Ste 109  
JACKSONVILLE, FL 32256

Title Manager

COHEN, GREGORY  
7563 Philips Hwy  
Ste 109  
JACKSONVILLE, FL 32256

Title Manager

Eiseman, Adam  
7563 Philips Hwy  
Ste 109  
JACKSONVILLE, FL 32256

**Annual Reports**

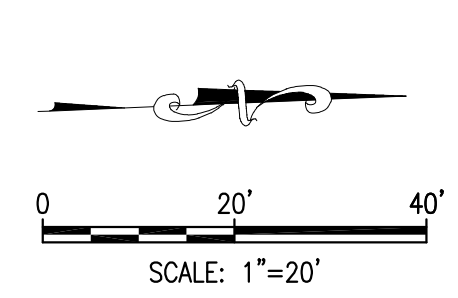
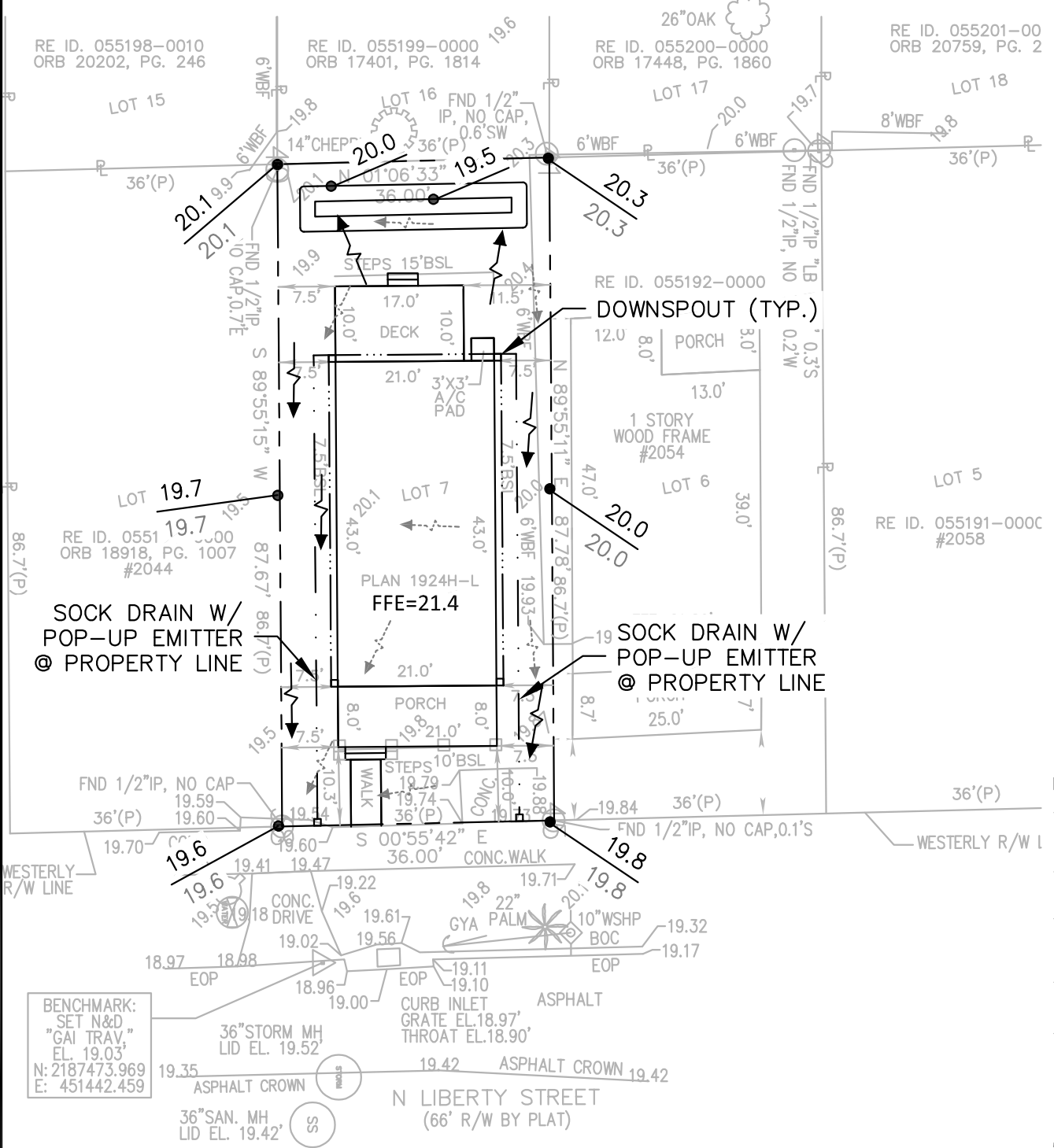
Report Year	Filed Date
2021	03/12/2021
2022	04/05/2022
2023	04/12/2023

**Document Images**

<a href="#">04/12/2023 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/05/2022 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/12/2021 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/11/2020 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/13/2019 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/23/2018 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/22/2017 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/17/2016 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/20/2015 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/30/2014 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">10/08/2013 -- LC Article of Correction</a>	View image in PDF format
<a href="#">09/10/2013 -- Florida Limited Liability</a>	View image in PDF format



Florida Department of State, Division of Corporations



PLAN 1924 H LEFT

LOT SIZE	3,158± S.F.
1ST FLOOR LIVING	903± S.F.
FRONT PORCH	168± S.F.
BACK DECK	180± S.F.
A/C PAD	9± S.F.
FRONT WALK	35± S.F.
DRIVEWAY TO R/W	0± S.F.
TOTAL IMPERVIOUS AREA	1,295 S.F. 41%

- LEGEND
- A/C - AIR CONDITIONER
  - B.S.L. - BUILDING SETBACK LINE
  - B.O.C. - BACK OF CURB
  - (C) - CALCULATED DATA
  - CLF - CHAINLINK FENCE
  - (D) - DEED DATA
  - DIR. - DIRECTIONAL
  - E - EAST
  - ELEV - ELEVATION
  - E.O.P. - EDGE OF PAVEMENT
  - FFE - FINISHED FLOOR ELEVATION
  - N - NORTH
  - O.R.B. - OFFICIAL RECORDS BOOK
  - (P) - PLATTED DATA
  - P.B. - PLAT BOOK
  - PG. - PAGE
  - R - PROPERTY LINE
  - R.E.ID. - REAL ESTATE IDENTIFICATION
  - R/W - RIGHT-OF-WAY
  - RMD-A - RESIDENTIAL MEDIUM DISTRICT
  - S - SOUTH
  - S.F. - SQUARE FEET
  - W - WEST
  - WBF - WOOD BOARD FENCE
  - WSHP - WOOD SHARED POLE
  - SET 1/2" IRON ROD & CAP, "GAI LB 3604" (UNLESS OTHERWISE NOTED)
  - WATER METER [WATER]

- PROPOSED LEGEND
- PRE-FLOW ARROW
  - POST-FLOW ARROW
  - EXIST. SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - DOWNSPOUT
  - GUTTERS
  - SOCK DRAIN

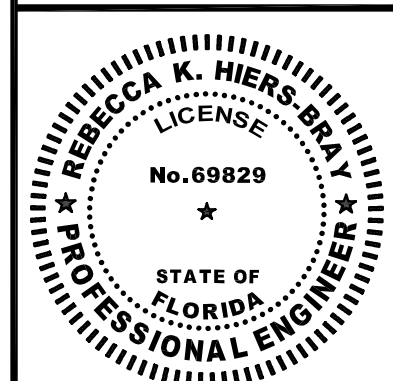
**gai consultants**  
transforming ideas into reality  
1301 Riverplace Boulevard, Suite 900  
Jacksonville, FL 32207  
904.363.1110  
Certificate of Authorization:  
© 2013 GAI Consultants, Inc.

REVISIONS

DATE	DESCRIPTION	No.
2/23/24	HOUSE MOVED AND ADDRESS REVISION	1

2050 LIBERTY ST  
LOT GRADING PLAN

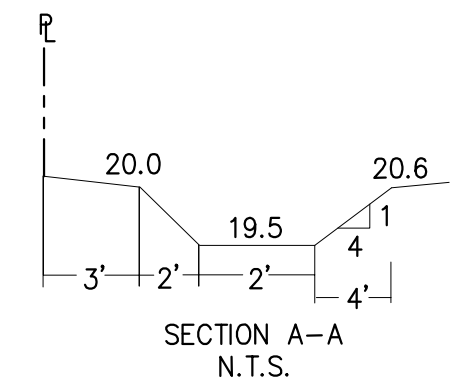
IN-FILL LOT GRADING PLAN  
for JWB CONSTRUCTION GROUP  
JACKSONVILLE FLORIDA



REBECCA K. HIERS-BRAY, P.E.  
FL REG. NO. 69829

LOT 7, CLARKE'S REPLAT OF BLOCK 4 WARREN AND PART OF BLOCK 63 SPRINGFIELD, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 95, OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

- NOTES:
- BEARINGS SHOWN HEREON BASED ON STATE PLANE COORDINATES, EAST ZONE, (83/11) WITH THE BEARING ON THE WESTERLY RIGHT-OF-WAY LINE OF LIBERTY STREET, BEING SOUTH 00°55'42" EAST.
  - ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 PER TRIMBLE VRS NETWORK WITH AN ORIGINATING BENCHMARK BEING A SET NAIL AND DISK, "GAI TRAV" WITH AN ELEVATION OF 19.03 FEET (SHOWN HEREON).
  - THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE "X" WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO COMMUNITY PANEL 120077-0357-J OF THE FLOOD INSURANCE RATE MAPS FOR DUVAL COUNTY, FL, DATED NOVEMBER 2, 2018 AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
  - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. THERE MAY BE EASEMENTS AND/OR RESTRICTIONS RECORDED IN THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FL AND NOT SHOWN HEREON.
  - THIS PROPERTY IS ZONED COMMERCIAL NEIGHBORHOOD/GENERAL-SPRINGFIELD (CN-S); MINIMUM LOT REQUIREMENT (WIDTH/AREA): 40 FEET/3,000 S.F.; MAXIMUM LOT COVERAGE BY ALL BUILDINGS: 80 PERCENT; IMPERVIOUS SURFACE RATIO: 85%; MINIMUM YARD REQUIREMENT: FRONT: NO MINIMUM AND 10 FEET MAXIMUM, SIDE: WHEN ADJACENT TO RESIDENTIALLY ZONED PROPERTY, MINIMUM SIDE YARD OF 15 FEET; AND REAR: WHEN ADJACENT TO RESIDENTIALLY ZONED PROPERTY, A MINIMUM REAR YARD OF 15 FEET; MAXIMUM HEIGHT OF STRUCTURES: PRINCIPAL STRUCTURE 45 FEET, ACCESSORY STRUCTURES SHALL BE NO HIGHER THAN PRINCIPAL STRUCTURES; BUILDING WIDTH: BUILDING WIDTH EXCEED 70% OF LOT WIDTH, ALL PER THE LAND DEVELOPMENT CODE FOR THE CITY OF JACKSONVILLE.
  - ALL LIVE OAKS AND LONGLEAF PINES ARE MARKED. ALL OTHER OAKS ARE SCRUB, WATER, OR LAUREL. ALL OTHER PINES ARE SLASH OR POND.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY:

REBECCA K. HIERS-BRAY, P.E. NO. 69829  
GAI CONSULTANTS  
1301 RIVERPLACE BLVD, SUITE 900  
JACKSONVILLE, FL 32207

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THIS DOCUMENT IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

\*GROUND ELEV. AT FOUNDATION SHALL BE MIN. 6IN BELOW FINISHED FLOOR ELEVATION.  
\*\*SURVEY PROVIDED BY GAI CONSULTANTS, INC

Project No.: S141206.01

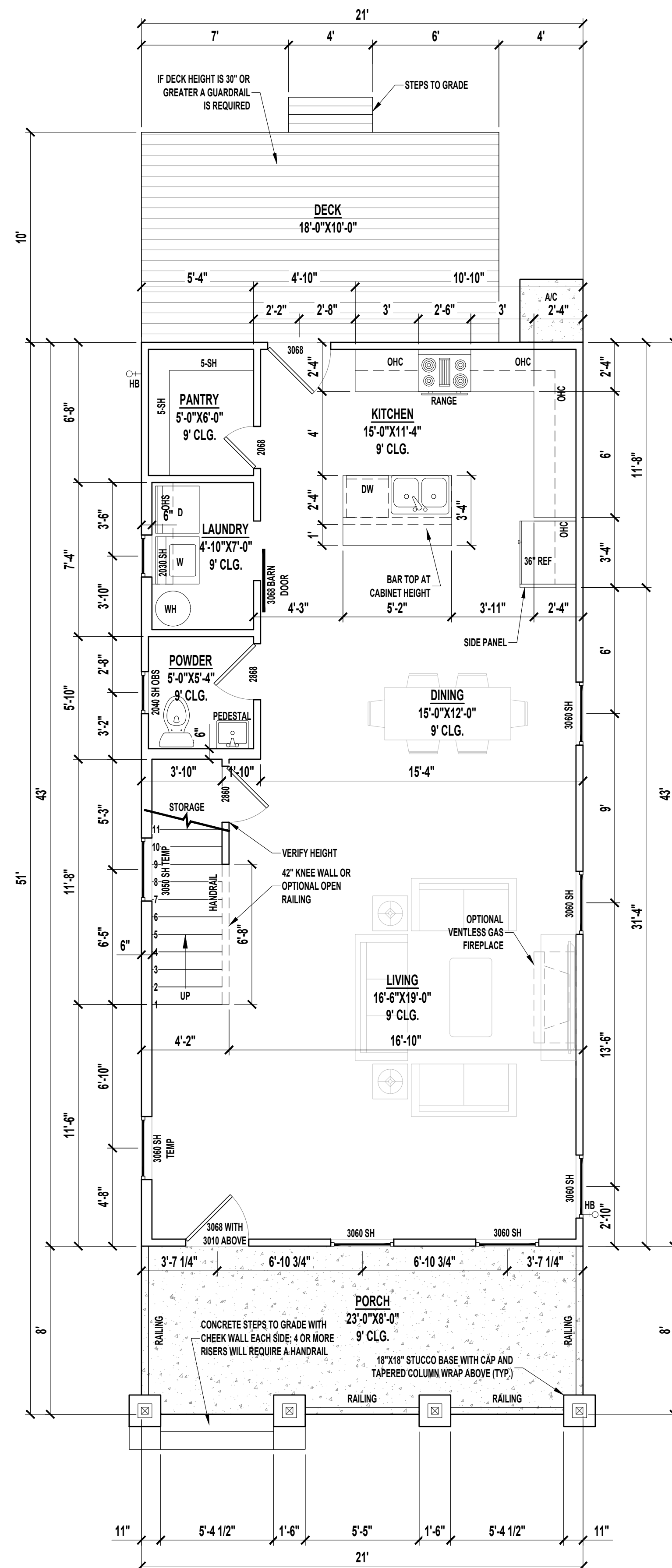
Issue Date: 01-19-24

Designed By : V.R.

Checked By : R.H.B

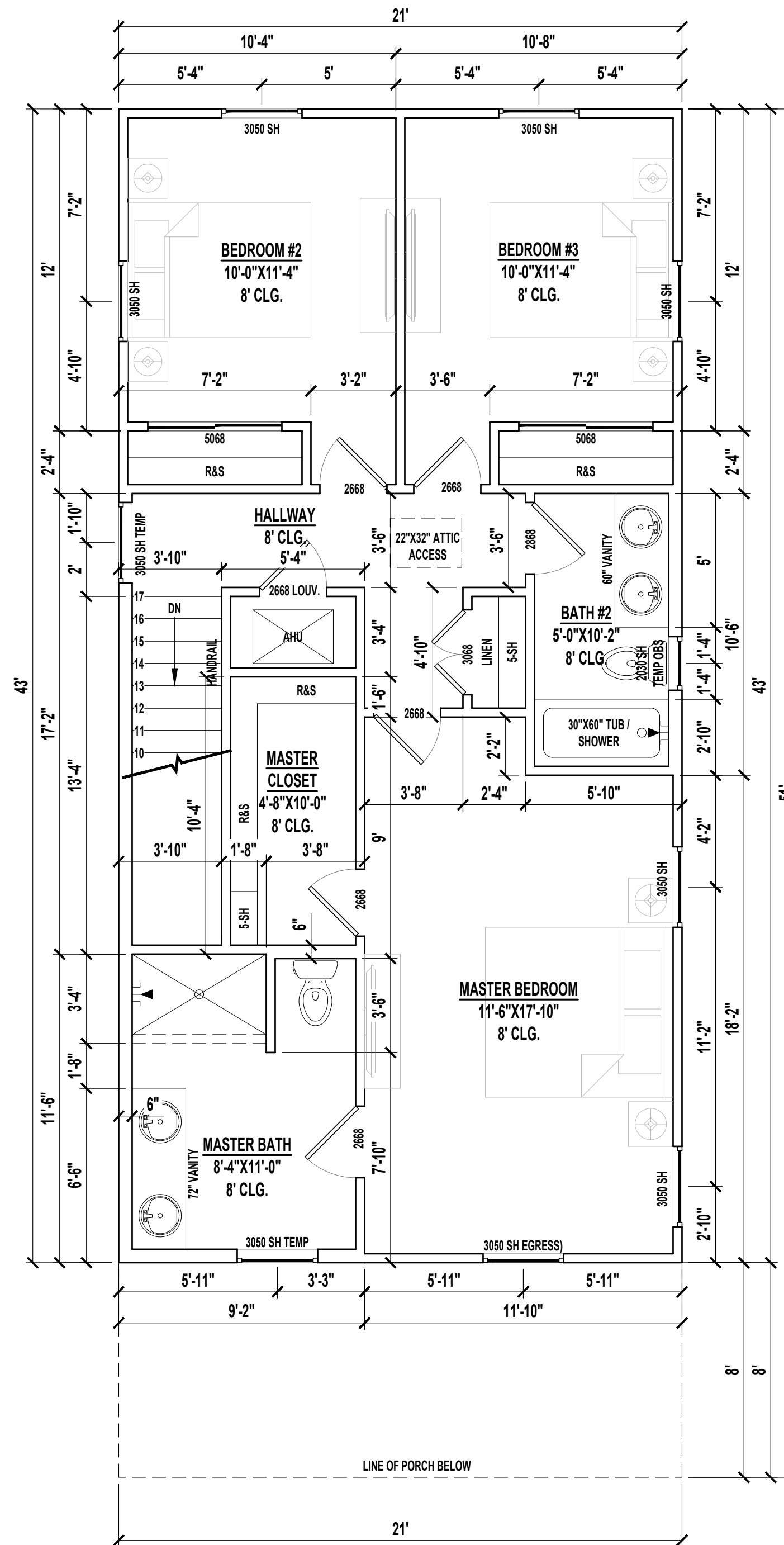
Drawn By : V.R.

Task No.: 826



**1ST LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**2ND LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

BUILDING AREAS	
1ST FLOOR HEATED AREA:	903 SF
2ND FLOOR HEATED AREA:	853 SF
TOTAL HEATED AREA	1,756 SF
PORCH:	168 SF
TOTAL UNDER ROOF:	1,924 SF
DECK:	180 SF

CONDITIONED SPACE = 14,951 CF

- NOTES:**
- IF SHOWER HAS GLASS ENCLOSURE, SAFETY GLAZING REQUIRED PER FBC R-308.4.5.
  - PROVIDE TEMPERED GLASS AS REQUIRED.
  - CONTRACTOR MUST VERIFY ALL DIMENSIONS.

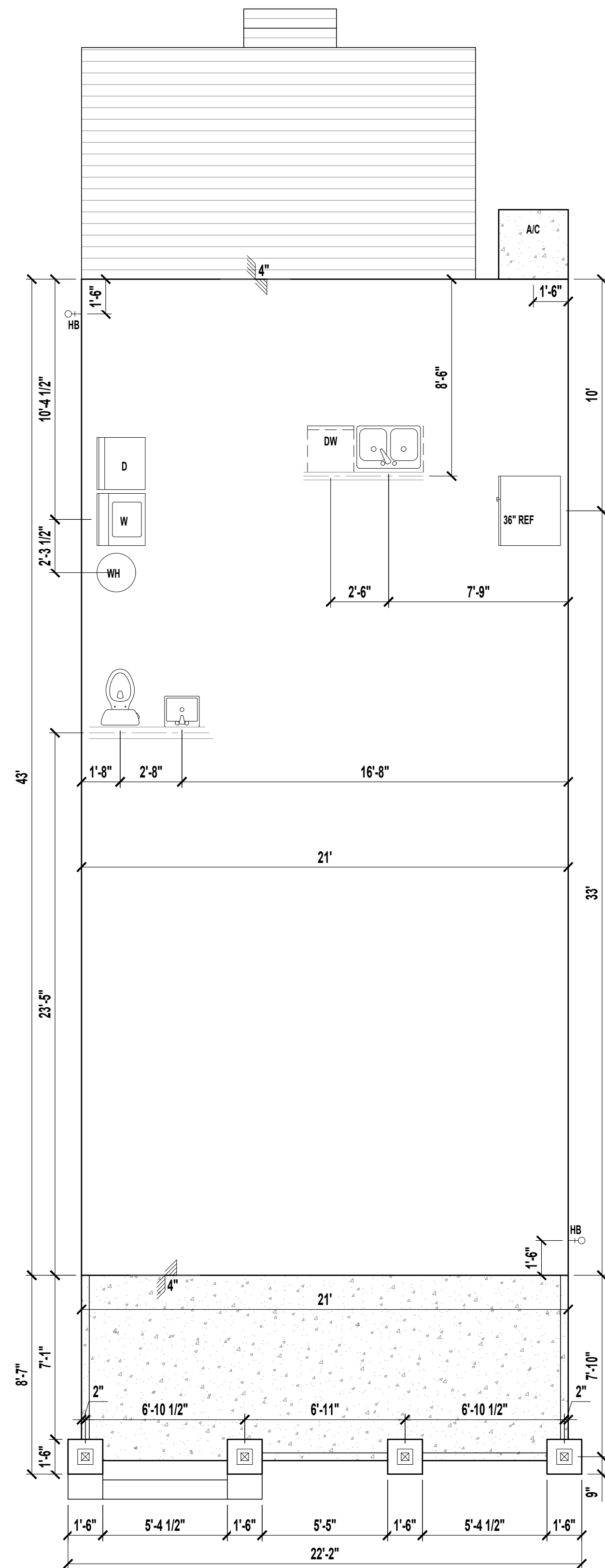
NOTE:  
A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTORS USE PRIOR TO FRAMING INSPECTION.

**DRAWING INDEX**

SHEET NUMBER	SHEET NAME
A0.1	SITE PLAN
A1.1	FLOOR PLANS
A1.2	FOUNDATION AND ROOF PLANS
A1.3	ELECTRIC PLANS
A2.1	ELEVATIONS
A3.1	DETAIL SHEET

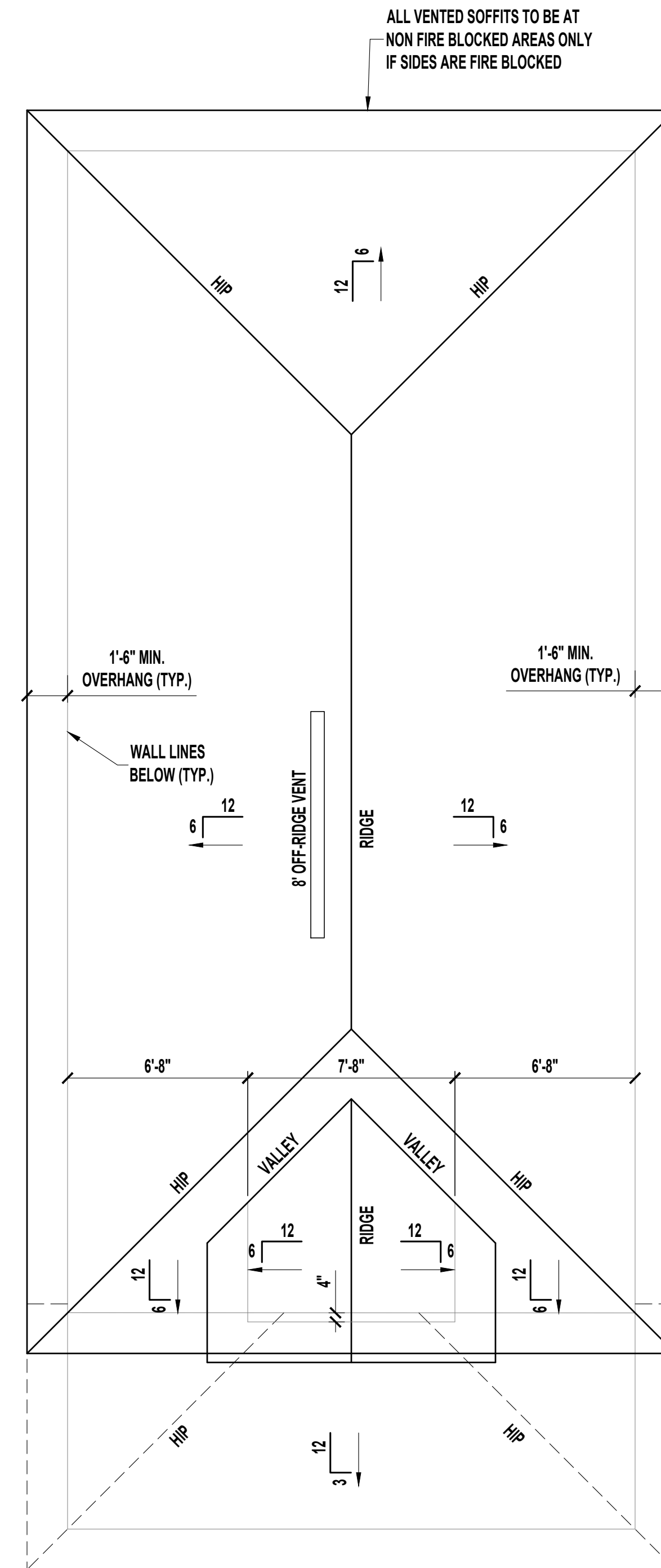
**CODE INFORMATION**

BUILDING CODE:	2023 FLORIDA BUILDING CODE RESIDENTIAL 8TH ADDITION
	2023 FLORIDA BUILDING CODE PLUMBING
	2023 FLORIDA BUILDING CODE MECHANICAL
	2020 NEC
CONSTRUCTION TYPE:	5B
OCCUPANCY CLASS:	R-3



**FOUNDATION LAYOUT**  
SCALE: 1/4" = 1'-0"

SEE STRUCTURAL PLANS FOR NOTES AND DETAILS.  
CONTRACTOR MUST VERIFY ALL DIMENSIONS.



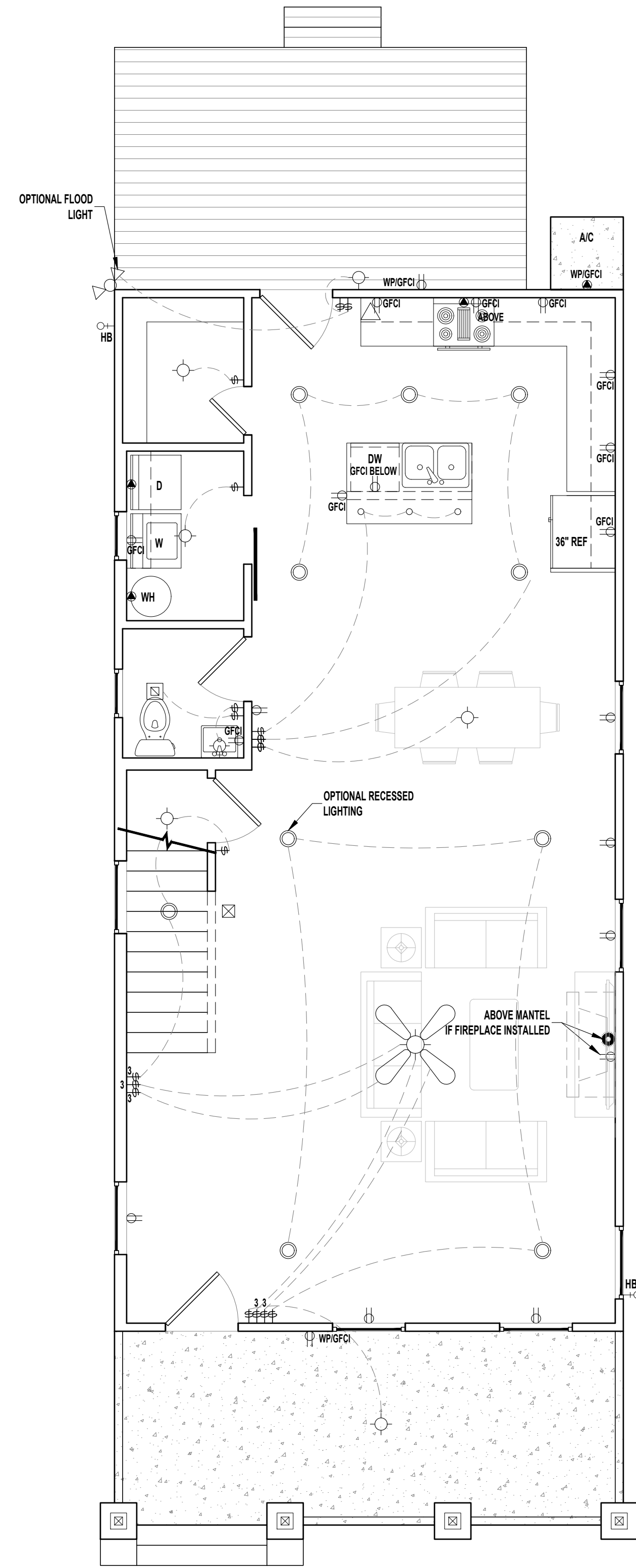
**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**VENT CALCULATIONS**

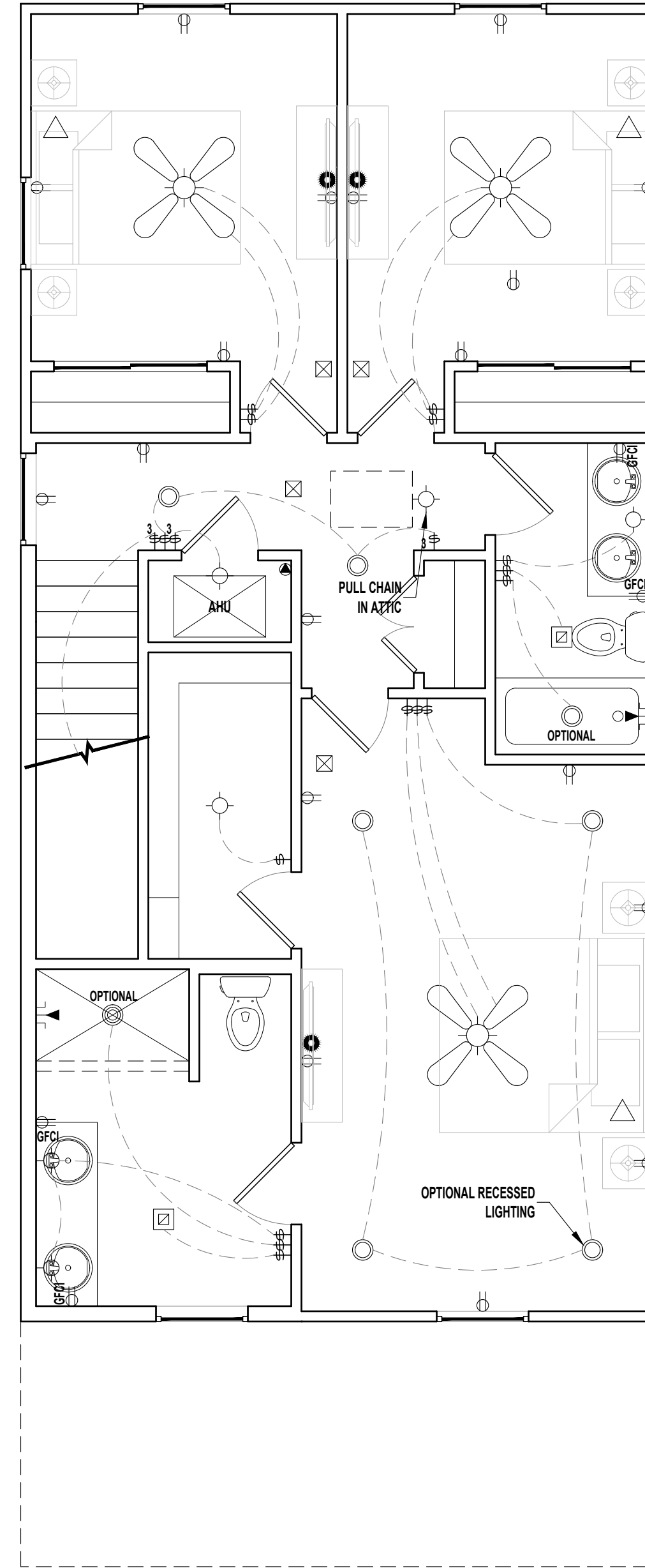
**SOFFIT VENTS**  
VENTILATED ATTIC AREA: 903 SQ. FT.  
903 / 300 = 3.01 SQ. FT.  
3.01 SQ. FT. X 144 = 433 SQ. IN. TOTAL NET FREE VENT AREA  
433 X 50% = 216.5 SQ. IN. NET FREE  
SOFFIT REQUIREMENT = 6.55 SQ. IN. NET FREE PER LF  
216.5 / 6.55 = 33 LF VENTED SOFFIT REQUIRED

**OFF-RIDGE VENTS**  
VENTILATED ATTIC AREA: 903 SQ. FT.  
903 / 300 = 3.01 SQ. FT.  
3.01 SQ. FT. X 144 = 433 SQ. IN. TOTAL NET FREE VENT AREA  
433 X 50% = 216.5 SQ. IN. NET FREE  
(1) 8' OFF-RIDGE VENT REQUIRED  
(4' = 144 SQ. IN. EACH; 6' = 216 SQ. IN. EACH; 8' = 288 SQ. IN. EACH)

2 STORY RESIDENCE 0 LIBERTY STREET   JACKSONVILLE, FL 32206	
Shields CAD Services 243 Tarrasa Drive   Jacksonville, FL 32225 Phone : (904) 241-1540 Website: www.shieldscadservices.com   Email: btlshields@gmail.com © 2023 Shields CAD Services LLC	
JWB CONSTRUCTION GROUP 7563 Philips Highway, Suite 109 Jacksonville, FL 32256 (904) 677-6777	Prepared For:
No.	Revisions
Date	By
<p>THESE PLANS ARE THE PROPERTY OF SHIELDS CAD SERVICES LLC AND ARE FOR SINGLE USE ONLY FOR THE SPECIFIED ADDRESS AND ARE NOT VALID UNLESS ELECTRONICALLY SIGNED BY WILLIAM EDWARD SHIELDS, JR. PLANS WITHOUT AN ADDRESS ARE NOT FOR PERMITTING OR CONSTRUCTION. ANY COPIES MADE OF THESE PLANS WITHOUT THE SIGNER'S CONSENT IS A VIOLATION OF COPYRIGHT LAW.</p>	
Date	12-29-23
Scale	AS SHOWN
Job	1756H-9/8
Sheet	<b>A1.2</b>



**1ST LEVEL ELECTRIC PLAN**  
SCALE: 1/4" = 1'-0"



**2ND LEVEL ELECTRIC PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND**

	(2) 110V OUTLETS
	(1) 220V DISCONNECT
	(2) 110V WATERPROOF GFCI OUTLETS (INTERIOR)
	(2) 110V WATERPROOF GFCI OUTLETS (EXTERIOR)
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	LIGHT FIXTURE / EXHAUST FAN
	WALL MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	PENDANT LIGHTING
	PRE-WIRE AND BRACE FOR CEILING FAN
	SMOKE/CARBON MONOXIDE DETECTOR
	OPTIONAL FLOOD LIGHT
	1'X4' FLOURESCENT LIGHT
	CABLE OUTLET
	PHONE OUTLET

- NOTES:**  
 1. ELECTRICAL LAYOUT MUST MEET STATE AND LOCAL CODES. ELECTRICIAN TO VERIFY.  
 2. ALL FIXTURES TO BE CFL OR LED.  
 3. ALL OUTLETS THAT ARE NOT GFI TO BE AFCI PROTECTED.

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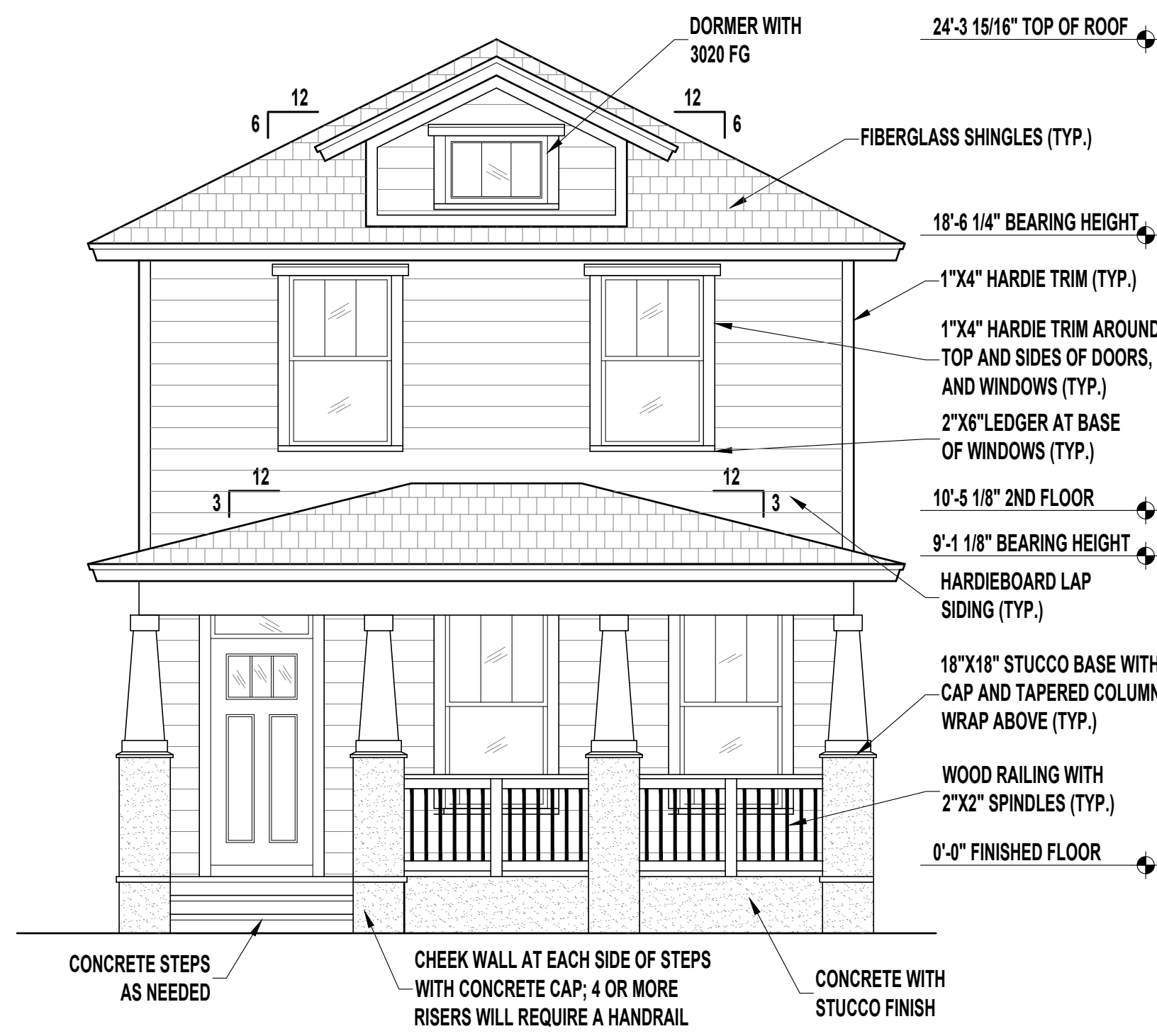
Date 12-29-23

Scale AS SHOWN

Job 1756H-9/8

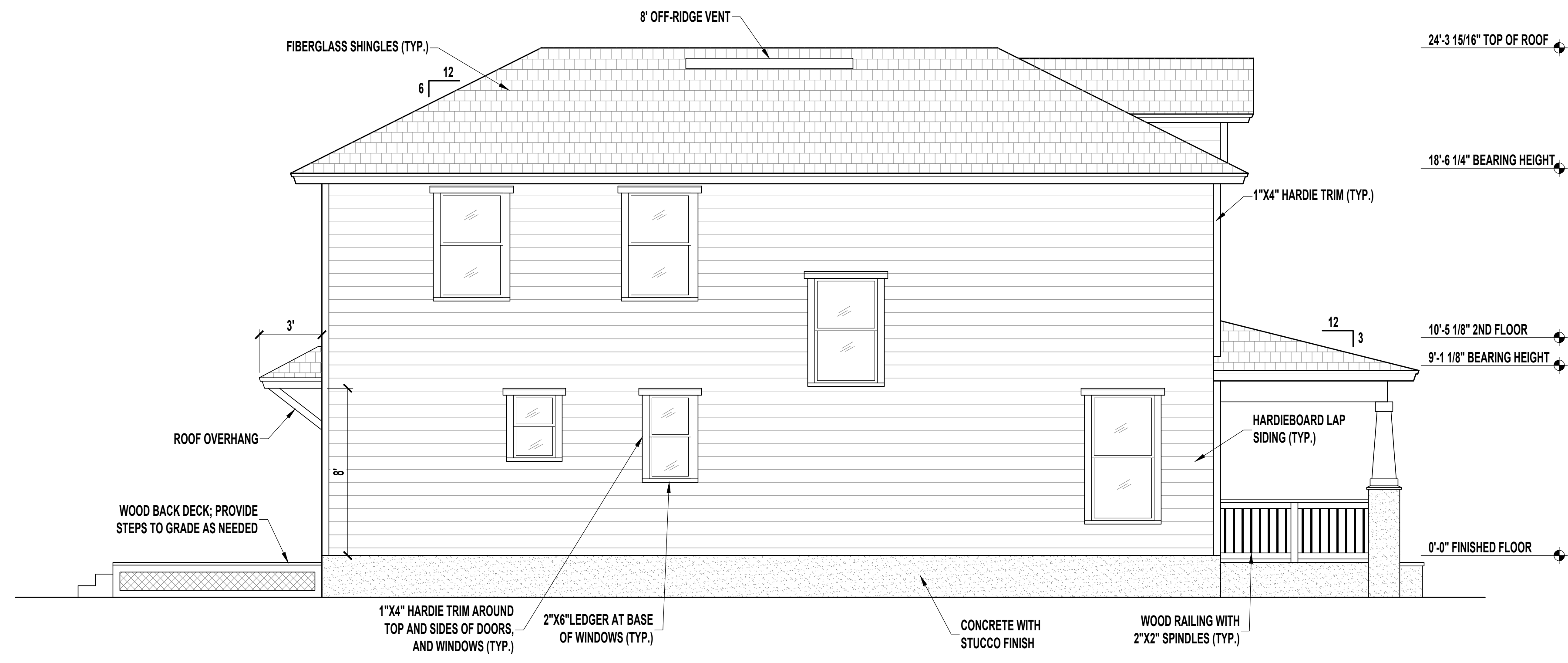
Sheet

**A1.3**



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



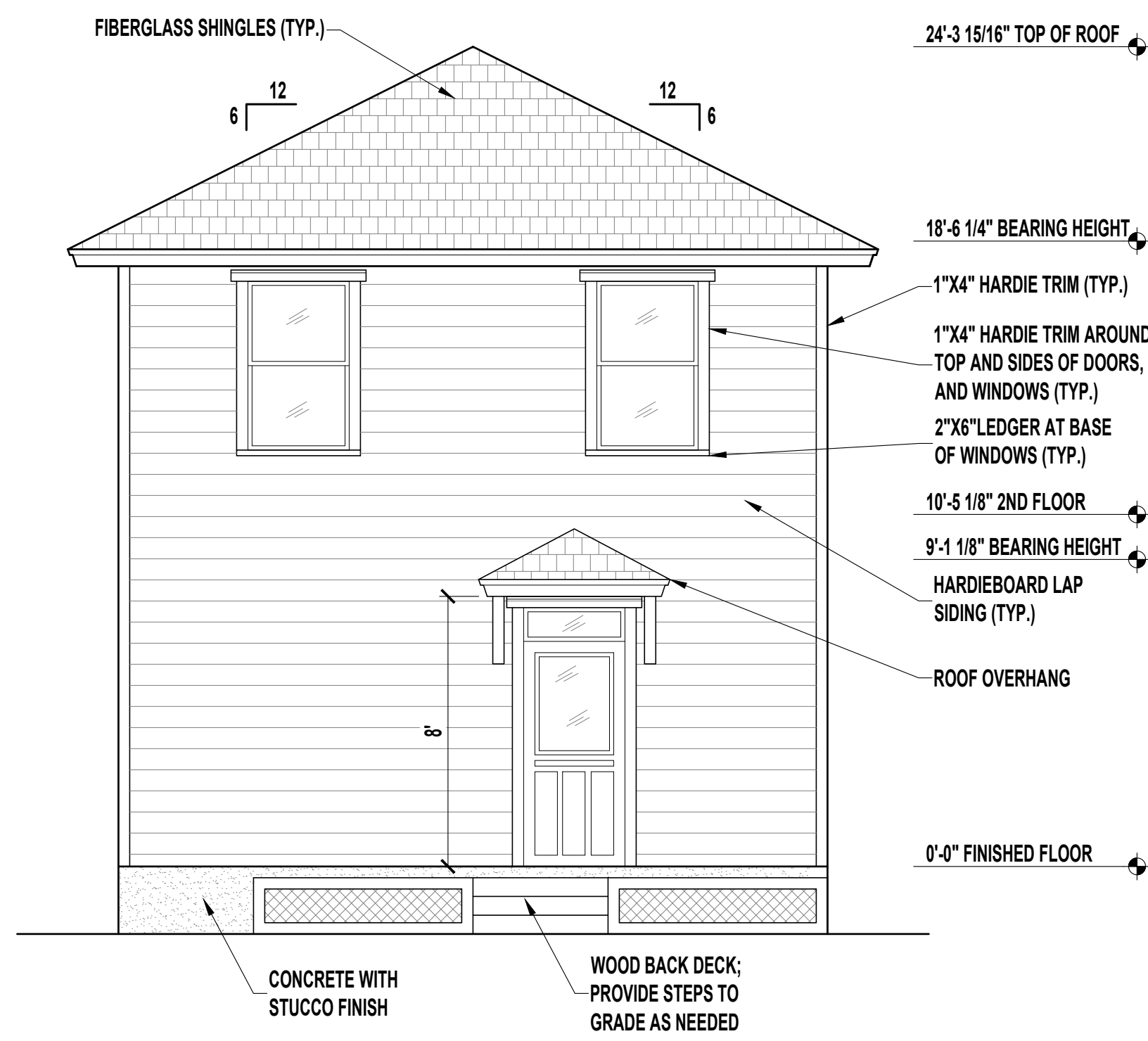
**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

CONTRACTOR MUST VERIFY ALL DIMENSIONS.

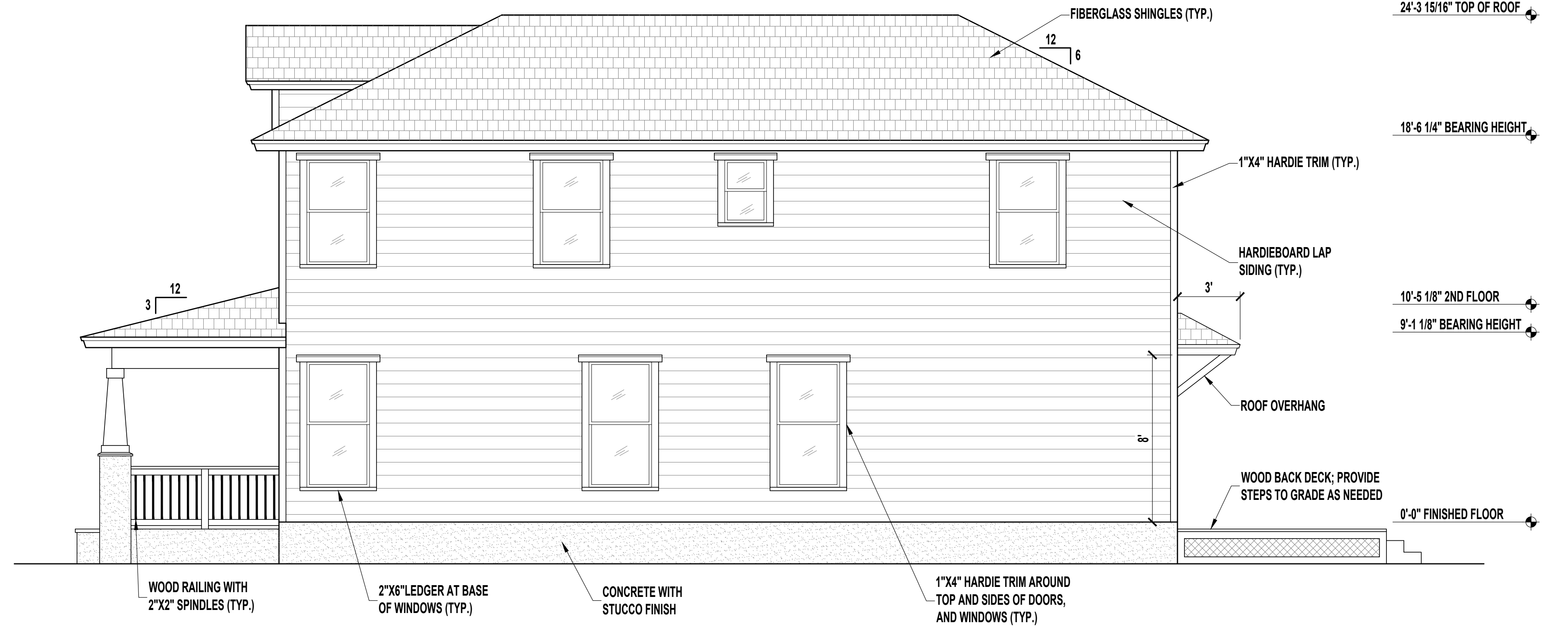
**NOTES:**

1. ALL CEMENTIOUS SIDING TO HAVE A SMOOTH VERSUS WOOD GRAIN FINISH.
2. ALL WINDOWS SHALL BE RECESSED WITHIN THE WALL PLANE AND TRIMMED IN A TRADITIONAL MANNER.
3. ALL WINDOW GROUPINGS SHALL BE DIVIDED BY A TRADITIONAL 4" MULLION.
4. WOOD RAILING TO HAVE NO EXPOSED SPINDLES.
5. CHEEK WALL WIDTHS TO MATCH THE WIDTH AT THE BASE OF COLUMNS.



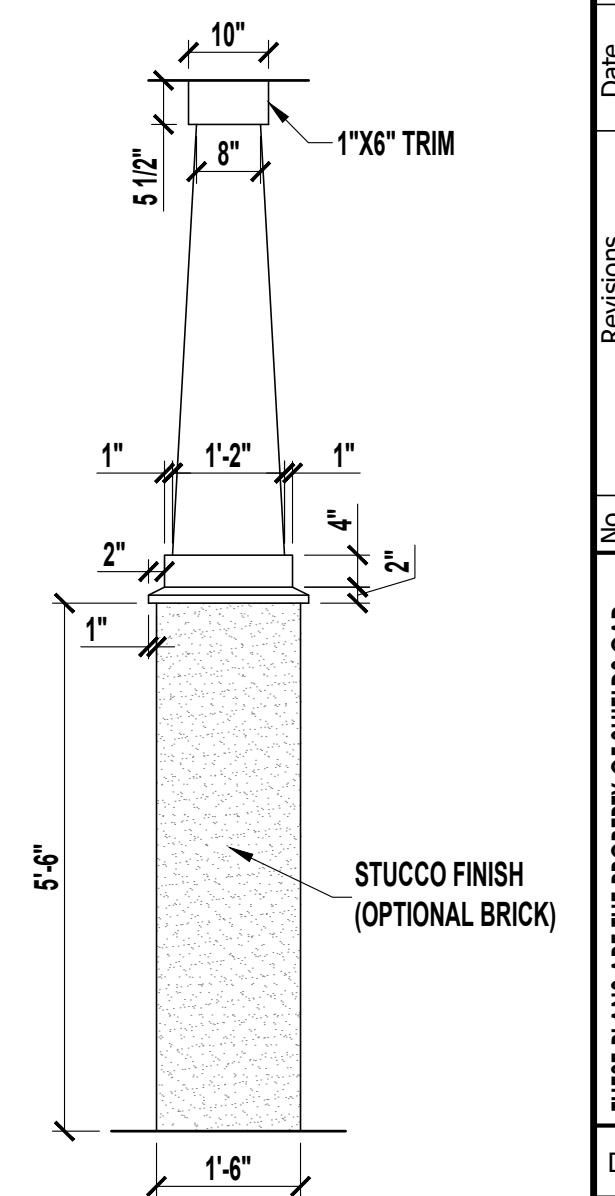
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**COLUMN DETAIL**

SCALE: 1/2" = 1'-0"

2 STORY RESIDENCE

0 LIBERTY STREET | JACKSONVILLE, FL 32206

ELEVATIONS

Shields CAD Services

243 Tarrasa Drive | Jacksonville, FL 32225

Phone : (904) 241-1540

Website: www.shieldscadservices.com | Email: billshields@gmail.com

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JWB CONSTRUCTION GROUP

7563 Philips Highway, Suite 109

Jacksonville, FL 32256

(904) 677-6777

Prepared For:

By

Date

Revisions

No.

Date

By

Date

By

Date

By

Date

By

Date

By

Date

By

Date

By

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Date 12-29-23

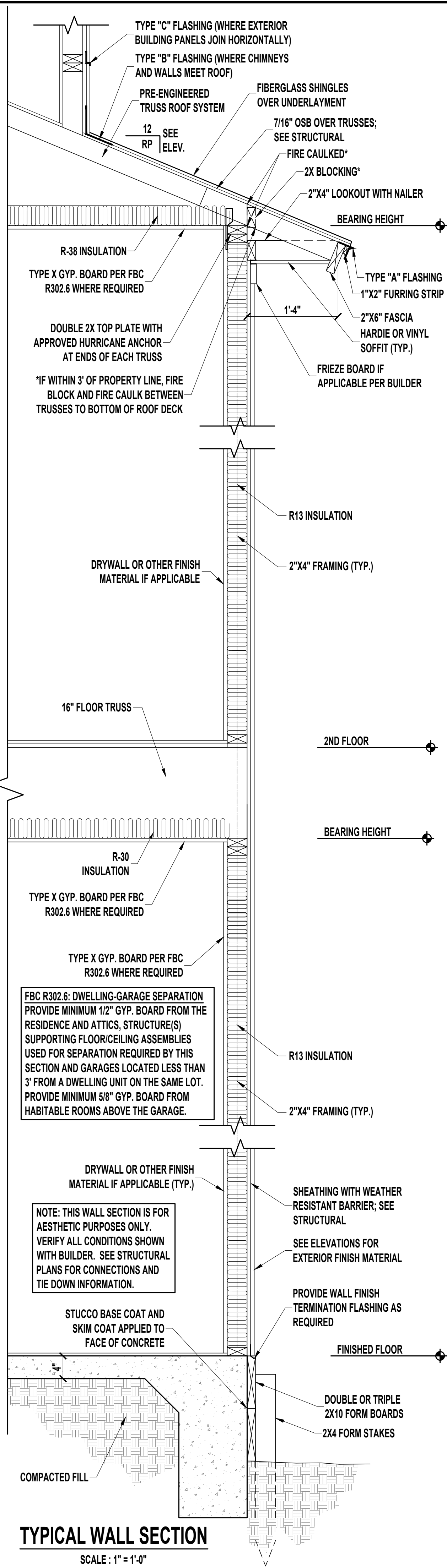
Scale AS SHOWN

Job 1756H-9/8

Sheet

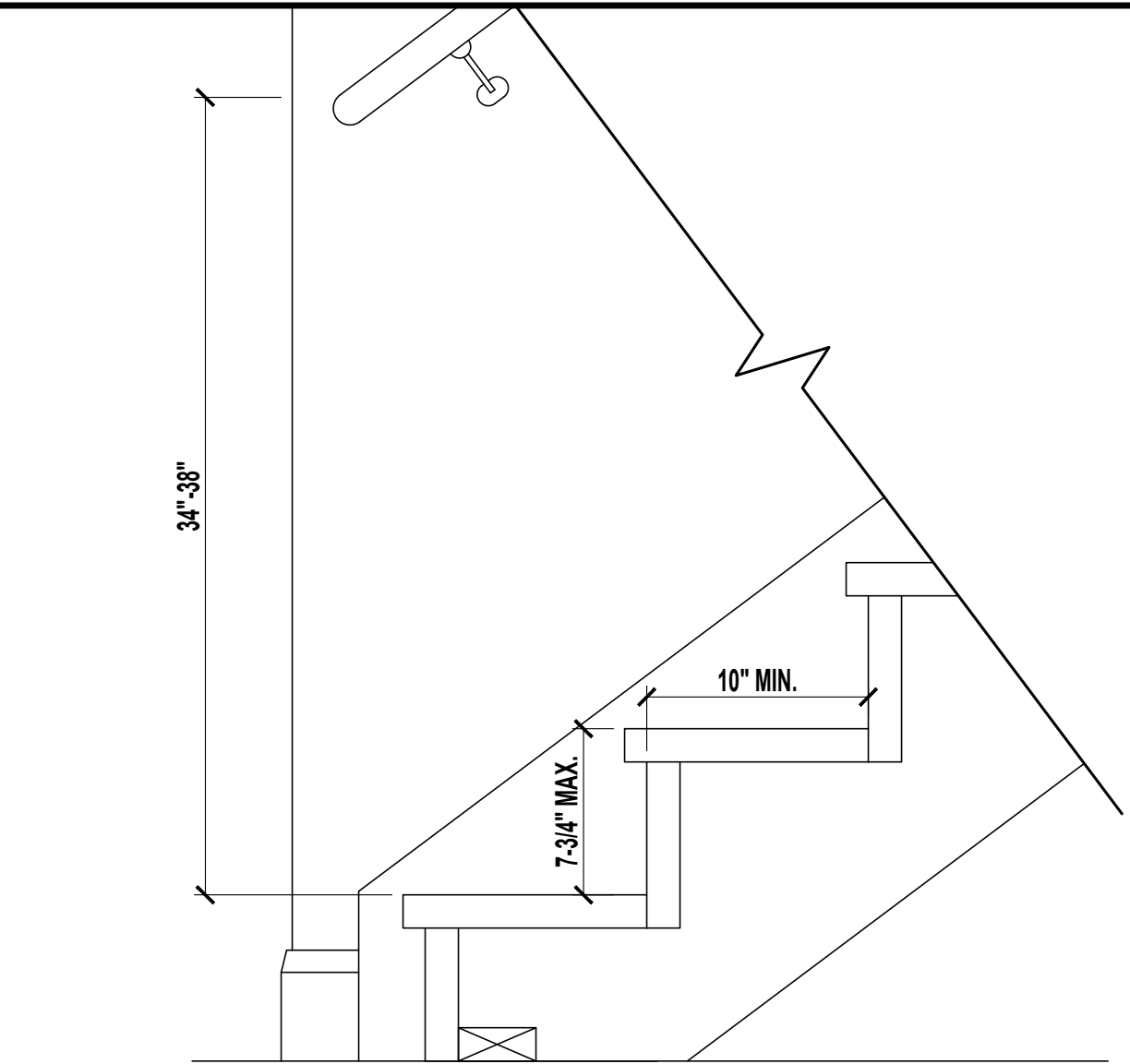
**A2.1**





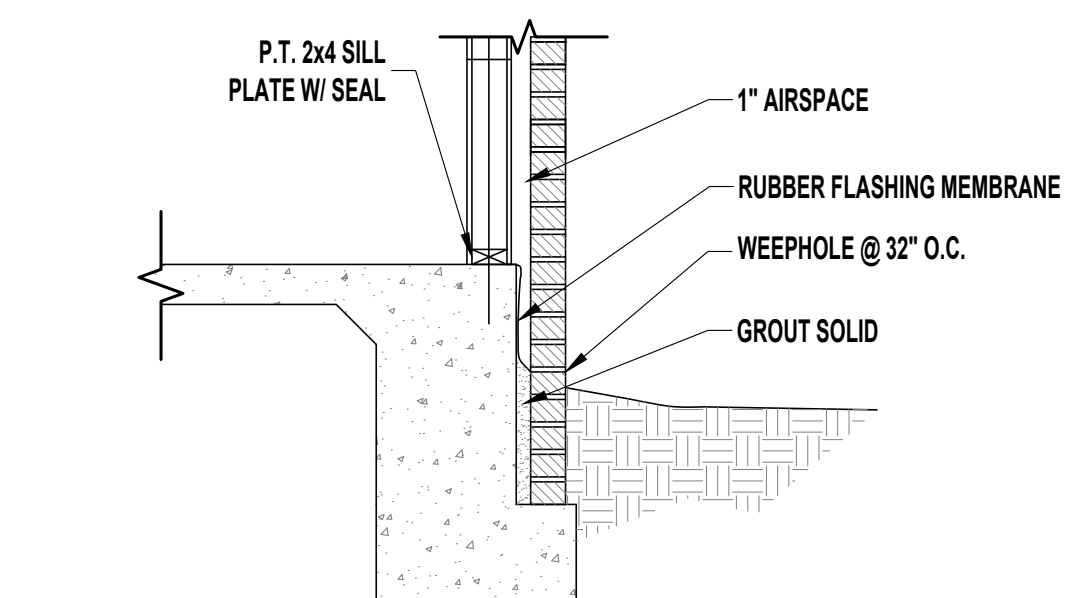
**TYPICAL WALL SECTION**

SCALE: 1" = 1'-0"



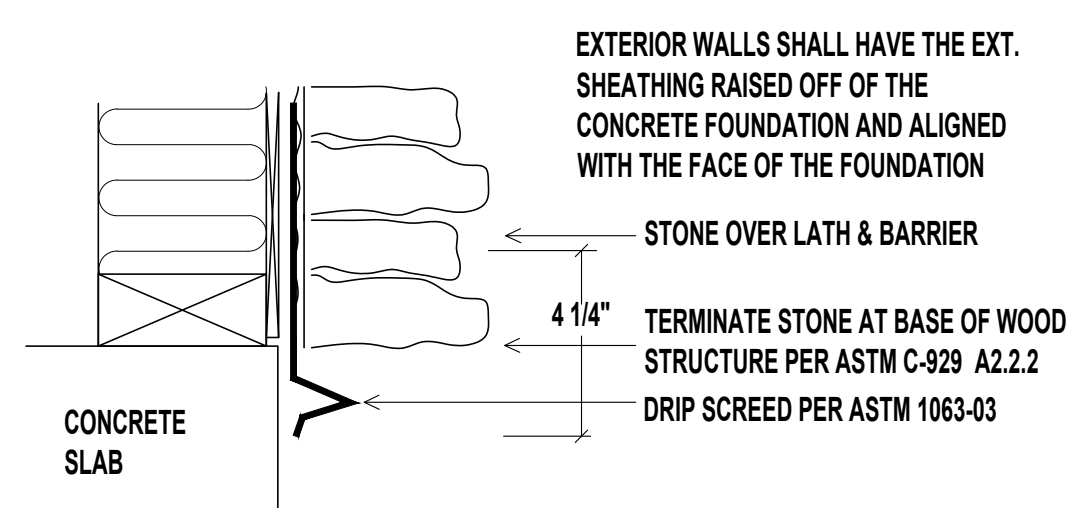
**STAIR DETAIL**

SCALE: 1 1/2" = 1'-0"



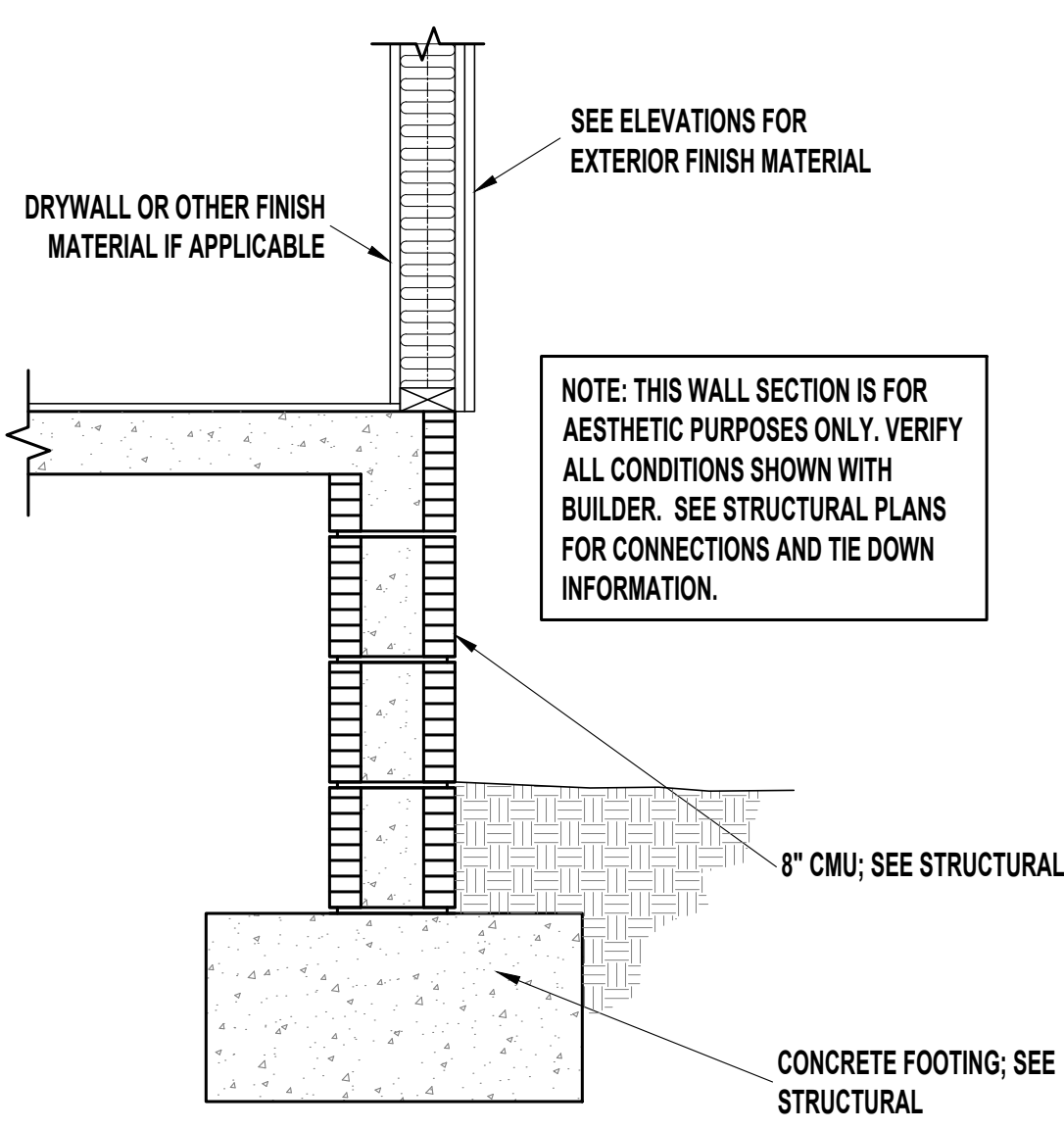
**BRICK @ FOUNDATION DETAIL**

SCALE: N.T.S.



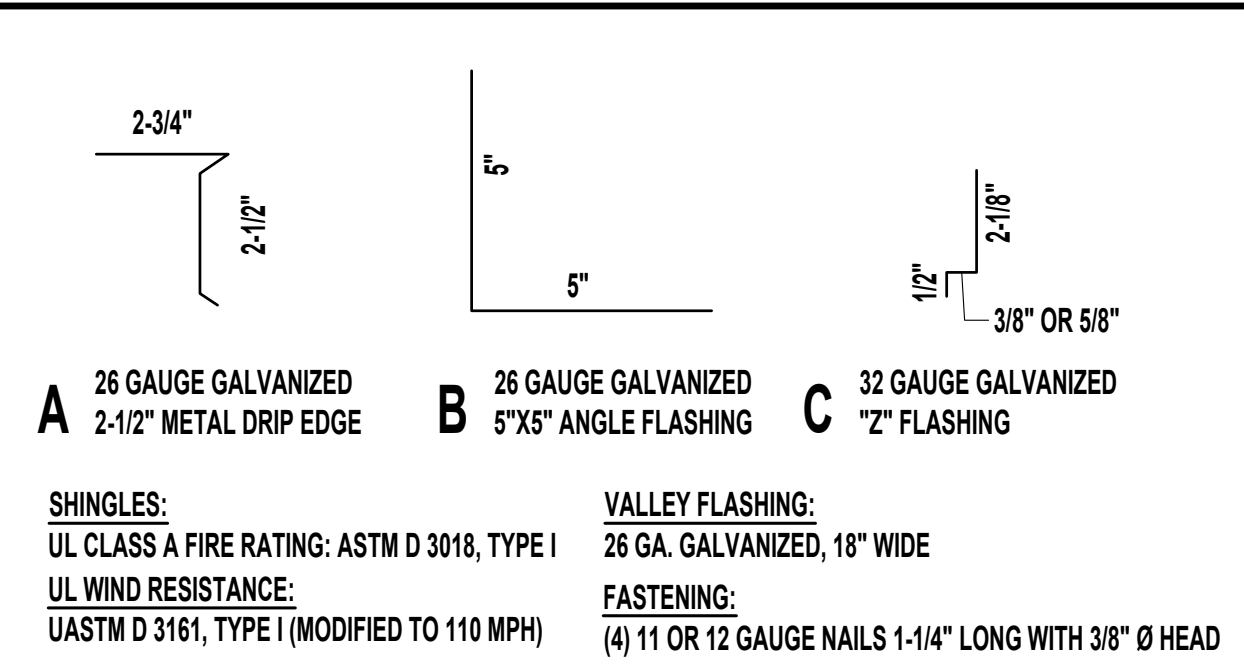
**STONE APPLICATION DETAIL**

SCALE: N.T.S.



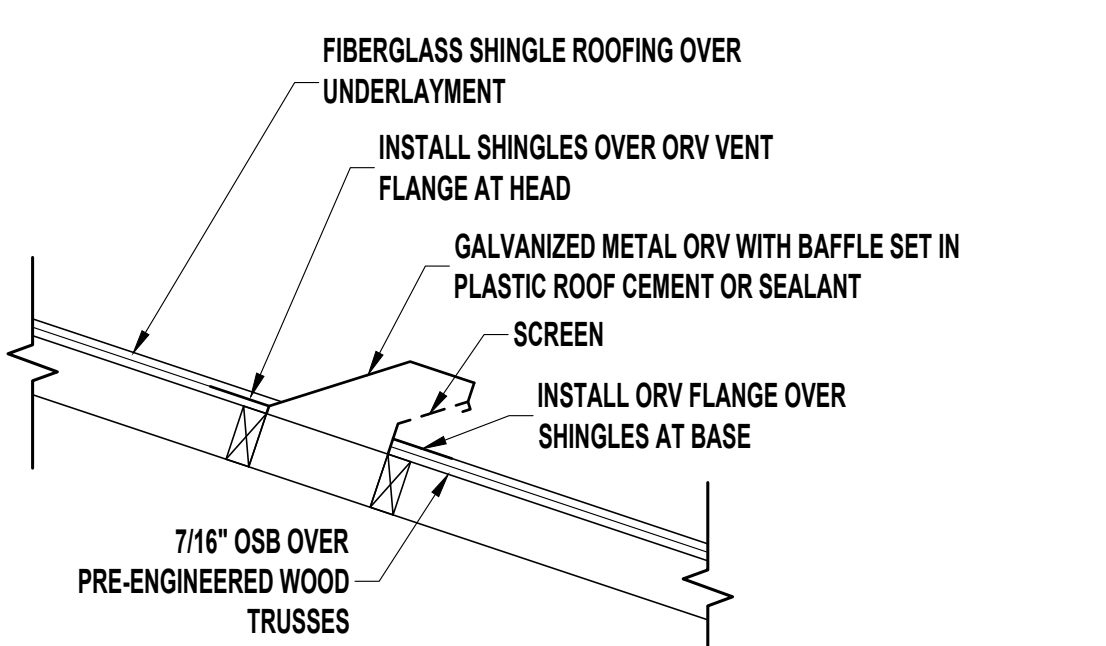
**TYPICAL WALL SECTION  
(STEM WALL OPTION)**

SCALE: 1" = 1'-0"



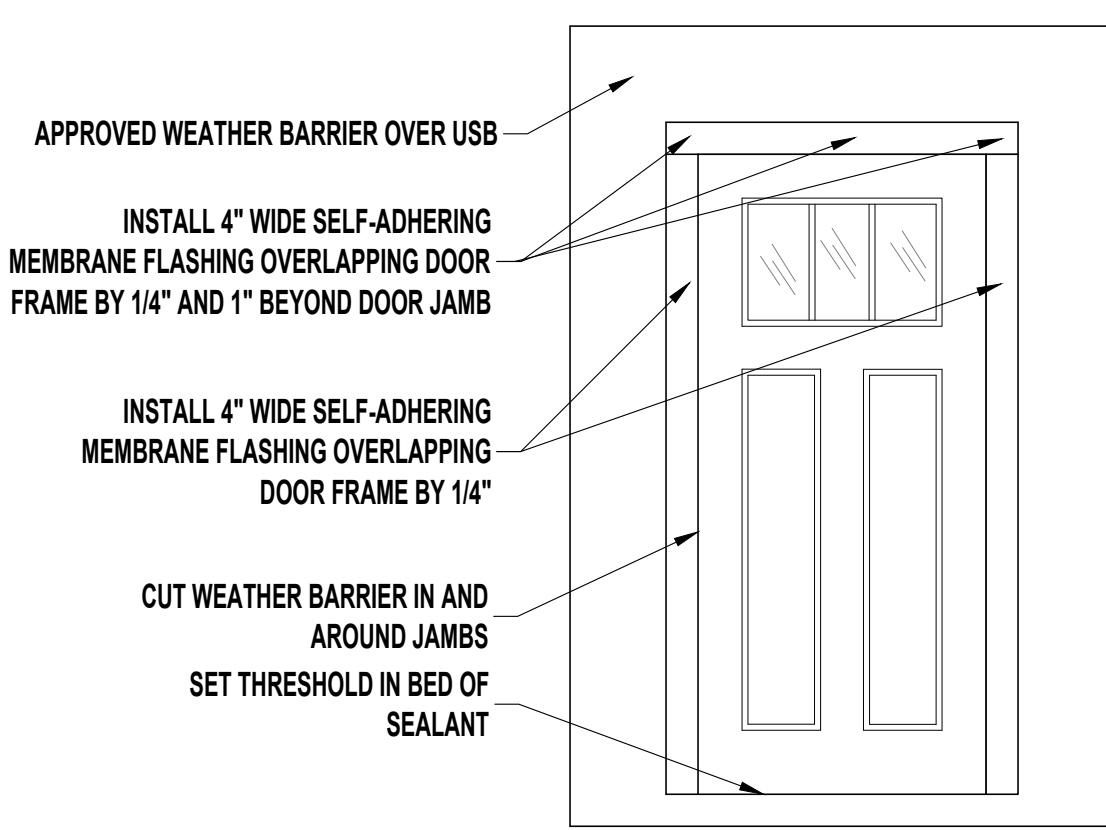
**FLASHING DETAILS AND SHINGLE INFORMATION**

SCALE: 3" = 1'-0"



**OFF RIDGE VENT DETAIL**

NOT TO SCALE



**DOOR FLASHING INSTALLATION AND DETAIL**

SCALE: N.T.S.

**GENERAL NOTES:**

1. PARKING BUMPER (IF REQUIRED) MUST BE INSTALLED BEFORE C.O.
2. 5/8" TYPE "X" GYP. BOARD REQUIRED ON CEILING OF GARAGE WHERE HABITAT SPACE IS ABOVE PER FBC R302.6.
3. HVAC PENETRATING RATED ASSEMBLIES TO COMPLY WITH FBC R302.5.
4. UNDER STAIR PROTECTION TO COMPLY WITH FBC R302.7 (IF ACCESSIBLE).

**GUARDRAIL NOTE:**

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R312.1 FOR GUARDRAIL REQUIREMENTS AND OPENINGS.  
 \*HEIGHT SHALL BE 36" MIN. WHEN PORCH, BALCONY OR RAISED FLOOR EXCEEDS 30" ABOVE FLOOR OR GRADE AND SHALL BE 34" ON OPEN SIDES OF STAIRS THAT EXCEED 30" OR MORE ABOVE FLOOR OR GRADE.  
 \*OPENINGS SHALL HAVE INTERMEDIATE RAILS OR CLOSURES WHICH DO NOT ALLOW PASSAGE OF SPHERE 4" OR GREATER IN DIAMETER. REQUIRED GUARD RAILS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW SPHERE GREATER THAN 4-3/8" IN DIAMETER TO PASS THROUGH.

**HANDRAIL NOTE:**

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.3 FOR HANDRAIL HEIGHT CONTINUITY AND SIZE.  
 \*HEIGHT: MUST BE BETWEEN 34-38" MEASURED VERTICALLY FROM SLOPED PLANE.  
 \*CONTINUITY: HANDRAIL MUST BE CONTINUOUS THROUGH FULL LENGTH OF FLIGHT FROM POINT DIRECTLY ABOVE HIGHEST RISER TO POINT DIRECTLY ABOVE LOWEST RISER. HANDRAIL ENDS SHOULD TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL OR RETURN TO WALL. HANDRAILS SHALL BE ALLOWED TO BE INTERRUPTED BY NEWEL POSTS.  
 \*SIZE: SHALL HAVE OUTSIDE DIAMETER BETWEEN 1-1/4"-2" IF CIRCULAR. SHALL HAVE BETWEEN 4-6" PERIMETER IF NOT CIRCULAR.

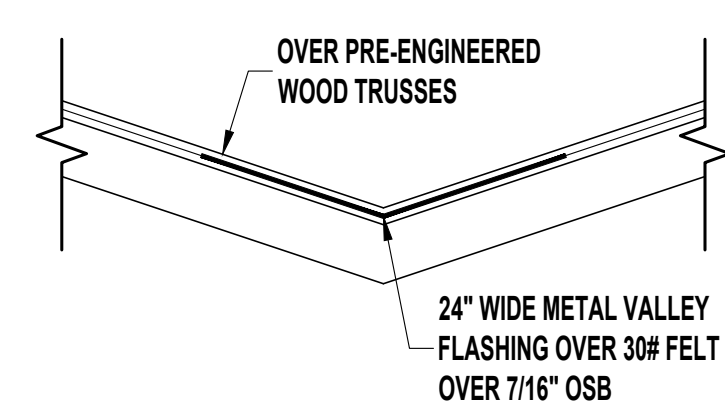
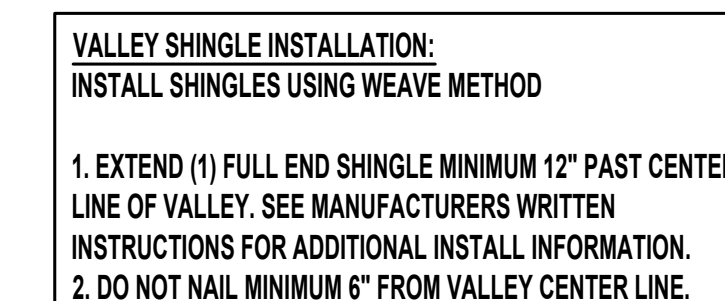
**STAIR NOTE:**

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.5 FOR TREAD DEPTH, RISER HEIGHTS AND STAIR WIDTHS.  
 \*RISERS: 7-3/4" MAXIMUM WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN HIGHEST AND LOWEST RISER. TREADS: 10" MINIMUM DEPTH WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN LONGEST AND SHORTEST TREAD. THE SUM OF 2 TREADS AND 1 RISER TO BE NOT LESS THAN 24" AND NOT MORE THAN 25".  
 \*WIDTH: 36" MINIMUM CLEAR WIDTH ABOVE HANDRAIL AND 31-1/2" BELOW HANDRAIL.

**R703.4 FLASHING:**

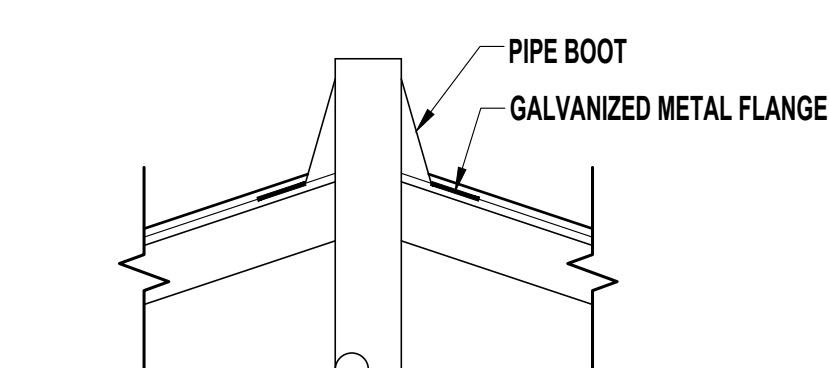
APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED ANTI-CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
2. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
3. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
4. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD FRAMED CONSTRUCTION.
5. AT ALL WALL AND ROOF INTERSECTIONS.
6. AT BUILT IN GUTTERS.



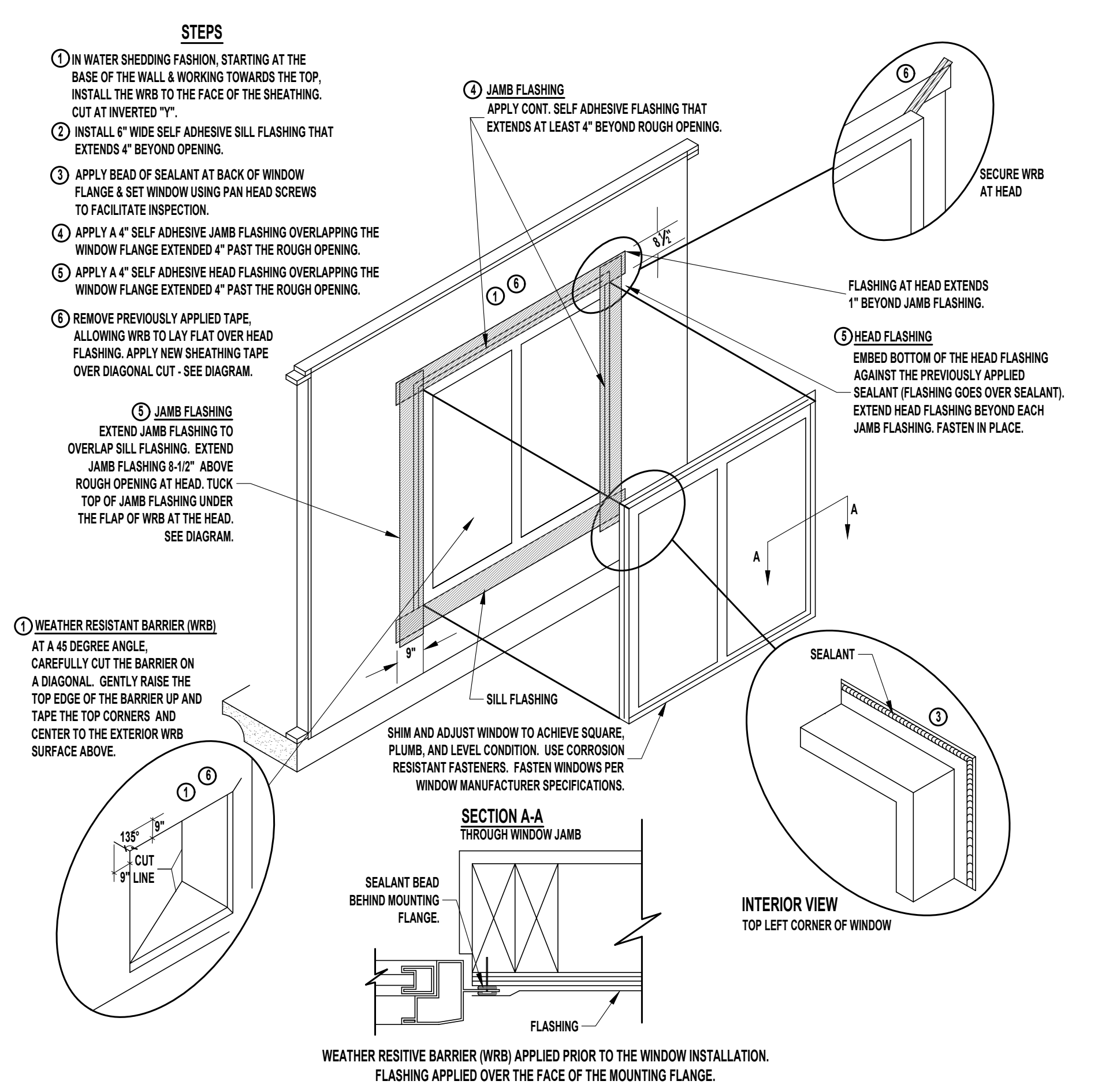
**VALLEY FLASHING DETAIL**

NOT TO SCALE



**PLUMBING STACK FLASHING DETAIL**

NOT TO SCALE



**WINDOW INSTALLATION**

SCALE: N.T.S.

2 STORY RESIDENCE  
0 LIBERTY STREET | JACKSONVILLE, FL 32206

**Shields CAD Services**  
243 Tarrasa Drive | Jacksonville, FL 32225  
Phone : (904) 241-1540  
Website: www.shieldscadservices.com | Email: bilshields@gmail.com  
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**JWB CONSTRUCTION GROUP**  
7563 Philips Highway, Suite 109  
Jacksonville, FL 32256  
(904) 677-6777

No.	Revisions	Date	By	Prepared For:

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Date: 12-29-23  
Scale: AS SHOWN  
Job: 1756H-9/8  
Sheet: **A3.1**

061

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2031



**Materials List:**

- Siding – Hardie planks, smooth finish; not wood-grain look
- Railings – wood
- Roof – architectural shingle
- Front Walk – concrete
- Porch – Wood with Beaded Porch Panel in the overhang
- Rear Deck – Wood
- Front Door – Craftsman 2-panel
- Rear Door – Craftsman Half Lite

**COA-24-30928**

**3733 Pine Street**

**September 25, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-30928**

**Address:** 3733 Pine Street, RE# 092407-0000

**Location:** Intersection of Shadowlawn Street and Pine Street

**Owner:** Rick Alan Ostrofsky  
3722 Pine Street  
Jacksonville FL, 32205

**Applicant:** Samuel Andrade  
Oasis Landscaping LLC  
4537 Ortega Farms Cir  
Jacksonville FL, 32210

**Year Built:** 1979 (Property Appraiser)

**Designation:** Non-Contributing; Riverside Avondale

**Request:** Alterations – Hardscaping

**Summary Scope of Work:**

1. Replacement of asphalt driveway with brick pavers and modification of stairs

**Recommendation:** **Approve with conditions**

**Conditions:**

1. Pavers shall have a rectangular shape, not to exceed 6" x 10" with a modular relationship of 1:2 or 3:5, and the color shall be brick-like or granite (no white blends).
2. Any existing sidewalk shall not be altered or disturbed in any way.
3. The driveway shall be substantially consistent with the site plan attached to the site plan dated June 14<sup>th</sup>, 2024

## **PROJECT DESCRIPTION**

COA-24-30928 seeks to replace an existing asphalt driveway and parking pad with new brick pavers. The primary structure is a non-contributing home that abuts both Shadowlawn and Pine Streets with the driveway accessed from Shadowlawn and the parking pad accessed from Pine Street. The proposed work will replace both the driveway and parking pad with new brick pavers. This replacement will slightly alter the dimensions of both driveways. The stairs and entryway to the home will also be slightly altered to accommodate these changes.



## **STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Jacksonville Historic Districts and the Ordinance Code criteria found in Sections 307.106(e), 307.106(k), and 307.106(l). The following is Staff's analysis:

- Pursuant to the 2024 COA Review Matrix, if a driveway alteration includes changes in the dimensions of a driveway it must be review by the Jacksonville Historic Preservation Commission 307.106(e)
- The replacement of an asphalt driveway with a brick paver driveway aligns with 307.106(k) (1, 2, and 3) in that it would replace an non-historic driveway material (asphalt) with brick pavers, a feature found throughout the district.
- 3733 Pine street is a non-contributing home and lacks a single defined style being of a vernacular design and as such lacks major character defining features including its current driveway. The minor altering of the driveway's area and its primary construction material would have a negligible effect on the original qualities of the home. 307.106(l) (2)

## **CODE CRITERIA AND DESIGN GUIDELINES**

### **General Criteria**

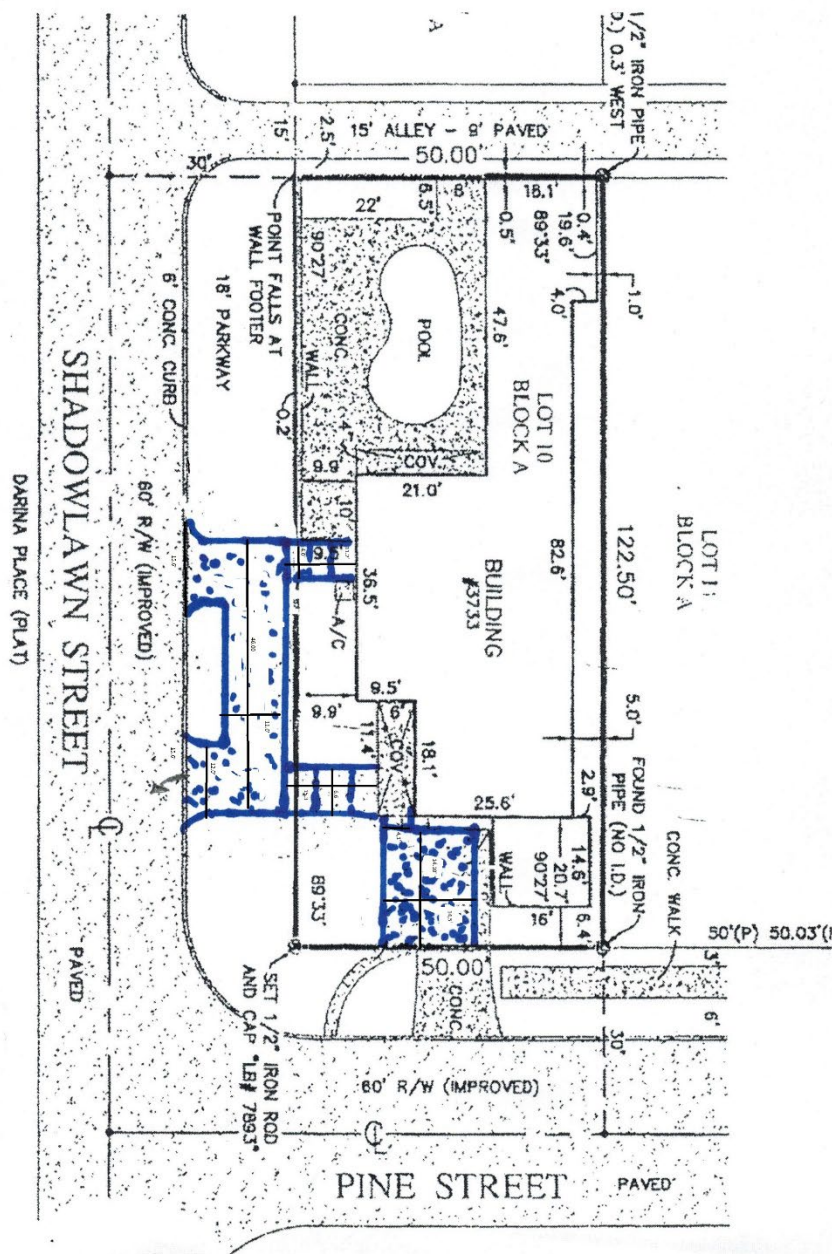
- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done.
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;

- 307.106(k)(3) – The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected.
- 307.106(l)(2) - The distinguishing original qualities or character of a building, structure, or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.

### LOCATION MAP



**SITE PLAN OF PROPOSED DRIVEWAY DATED JUNE 14<sup>TH</sup> 2024**









**PICTURE OF PROPERTY WITH POSTED SIGNS**







## Application For Certificate Of Appropriateness

### Application Info

<b>Tracking #</b>	30928	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	06/14/2024	<b>Date Submitted</b>	06/14/2024

### Planning and Development Department Info

<b>COA #</b>	COA-24-30928
<b>Admin Review</b>	<input type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	8/30/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	9/25/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

### General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
ANDRADE	SAMUEL	
<b>Company Name</b>		
OASIS LANDSCAPING LLC		
<b>Mailing Address</b>		
4537 ORTEGA FARMS CIRCLE		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32210
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 738 1293	904	LANDSCAPINGWITHOASIS@GMAIL.COM

### General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
OSTROFSKY	RICK	ALAN
<b>Company/Trust Name</b>		
<b>Mailing Address</b>		
3733 PINE STREET		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
8134421819		JEREMYDZIUBEK@GMAIL.COM

### Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map

RE#

092407 0000

### Location Of Property

#### General Location

Riverside/Avondale Historic District

#### House #

3733

#### Street Name, Type and Direction

PINE ST

#### Zip Code

32205

### Type Of Improvement

- Addition    Driveway    New Construction    Accessory Structures  
 Alteration    Relocation    Window Replacement    Other  
 Fencing    Demolition    Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.  
(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

#### Proposed Work

REMOVE APPROXIMATELY 900 SQUARE FEET OF CONCRETE DRIVEWAY AND STEPS REPLACE WITH TREMROM PAVERS ON GRAY BASE COLORS: 4X8 BRICK PAVERS PRODUCT CODE: PV21040 THICKNESS: 2-? (60MM) DIMENSIONS: 4"X8" ALSO WILL INSTALL 12 INCHES CONCRETE BAND AROUND TE DRIVEWAY. WE ARE NOT ADDING ANY SQUARE FOOTAGE JUST CHANGING THE SHAPE AND IMPROVING DRAINAGE ON THE LOT REMOVING ALL THE CONCRETE DRIVEWAY AND ADDING PAVERS. THE COLOR OF THE PAVERS WILL BE CHOSEN ON THE " GRAY BASE" ; GRANITE, HERITAGE, OR CHARCOAL.

### Addition Information

**Is this a violation?** Check the box if it is.

**If you have been working with a planner** choose one from the list

### Driveway - Required Attachments For Complete Application

- Site Plan** - Site plan/survey showing placement of new driveway.  
 **Proposed Materials For Driveway**  
 **Photos Of Property** - Photos of property with affected area/photo of existing curb-cut.

### Additional Documents Provided

### Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with

comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.





# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY. ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: 09/20/2024  
Address: 3733 PINE ST  
JACKSONVILLE, FL 32205

COA#: 24-30928  
Owner: OSTROFSKY, DZIUBEK

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application COA-24-30928 were posted on the property/site located at:

092407-0000  
Real Estate Number(s)

3733 PINE ST  
Street Address  
JACKSONVILLE, FL 32205  
City, State Zip Code

Printed Name SAMUEL ANDRADE

Signature [Handwritten Signature]

Dated this 20 day of SEPTEMBER, 2024.



BUILDING CHARACTERISTICS			
CATEGORY	TYPE	%	PTS
Exterior Wall	6 VERTICAL SHEET	100	36.00
Roof Struct	1 FLAT	100	2.00
Roofing Cover	2 ROLLED COMP	100	2.00
Interior Wall	5 DRYWALL	100	28.00
Int Flooring	11 CER CLAY TILE	100	15.00
Heating Fuel	4 ELECTRIC	100	1.00
Heating Type	4 FORCED-DUCTED	100	4.00
Air Cond	3 CENTRAL	100	7.00

0100 Single Family

\*\* VALUE SUBJECT TO CHANGE \*\*

CATEGORY	UNITS	ADJ
Stories	1.00	0
Bedrooms	3.00	0
Baths	2.50	0
Rooms / Units	1.00	0

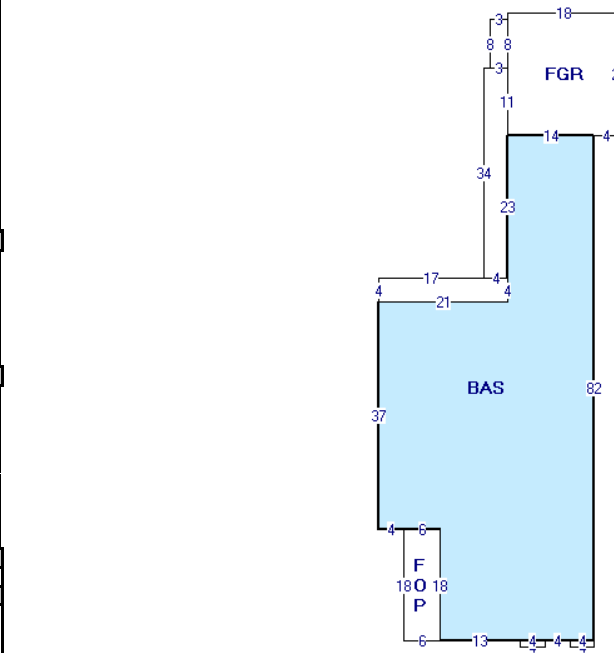
BASE RATE ADJ		ADJ
Quality Adjustment	1.0000	
Mkt/Design Factor	1.0000	
Size Adj.	0.9700	
TOTAL ADJUSTED POINTS		101
DEPRECIATION ADJ		ADJ

TYPE	STYLE	CLS	QUA	HX %	NHX %	LOC	% COMP
0108	01	4	03	100.00	0.00	1.00	100

SAR	AREA	B	H	P.of B.	EFF. AREA	DPR VALUE
BAS	2,123	X	100	2,123	370,859	
FGR	360		50	180	31,444	
FOP	336		30	100	17,469	
UST	24		40	10	1,747	

L N	OB/XF CODE	DESCRIPTION	BLD	HX %	NHX %	LENGTH	WIDTH	UNITS	GRADE	FACTOR	UNIT PRICE	ADJ UNIT PRICE	ORIG COND	ACTUAL YEAR	EFF YEAR	YEAR ON ROLL	% COND	OB/XF MKT VALUE	APPRaisal DATES	APPRAISED BY
1	POLR3	Pool	1	100.00	0.00	0	0	1.00	3	100	31,450.00	31,450.00	100	1979	1979	2012	40	12,580	3/23/1999	VMD
2	FPPR7	Fireplace Prefab	1	100.00	0.00	0	0	3.00	6	100	3,208.75	5,615.31	100	1979	1979		20	3,369	6/18/2003	SFB

L N	USE CODE	LAND USE DESCRIPTION	HX %	NHX %	R D	LOC ZONE	FRONT	DEPTH	SIZE FACTOR	UNITS	UNIT TYPE	D T	DPTH FACT	COND FACTOR	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE
C	1	0100	RES LD 3-7 UNITS PER AC	100.00	0.00		RLD-60	60.00	123.00	100.00		F	1	0.96	3,500.00	3,360.00	201,600



BUILDING: 1 AKA:  
 SITE ADDRESS: 3733 PINE ST JACKSONVILLE 32205 0108 SFR CLASS 2

L N	VOLUME / YEAR	PAGE / CLERK	DATE OF SALE	I N	Q U	V I	R E	SALES PRICE	NOTE AMOUNT	MAC	MAC AMOUNT	GRANTOR	GRANTEE	SALES NOTE
1	20289	00552	5/17/2022	WD	Q	I	01	756000		0	N	MUELLER MARTIN ERIK	OSTROFSKY RICKY ALAN ET	20220616
2	19400	01838	9/23/2020	WD	Q	I	01	534900		0	N	WEBER STEPHEN B	MUELLER MARTIN	20201023
3	17570	01783	5/18/2016	WD	Q	I	02	458000		0	N	OCONNELL BENJAMIN T ET	WEBER STEPHEN B	20160525
4	16854	01237	6/25/2014	WD	Q	I	01	429000		0	N	ROHRER RONALD E	OCONNELL BENJAMIN T ET	20140729

Duval County Property Appraisers Office Tax Dist USD1				
VALUE SUMMARY				
PRIMARY VALUATION METHOD	CAMA			
BUILDING VALUE	421,518			
EXTRA FEATURE VALUE	15,949			
TOTAL MARKET LAND VALUE	201,600			
MARKET VALUE OF AG LAND	0			
TOTAL LAND VALUE AG + COMMON	0			
MARKET VALUE	639,067			
ASSESSED VALUE	528,001			
CAP BASE YEAR	2023			
TAXABLE VALUE	478,001			
EXEMPTIONS	HB HX			
TOTAL EXEMPTIONS VALUE	50,000			
SENIOR EXEMPTION VALUE	0			
SR/HISTORIC TAXABLE VALUE	N/A			

PERMIT NO.	TP	ST.	DESCRIPTION	EST VALUE	ISSUE DATE
3002	ALTS			37,300	1/21/1998
000007998	BLDG			4,000	9/21/1978
000004651	BLDG			25,000	6/1/1978

**BUILDING DIMENSIONS**  
 FGR:21,22:=N20 E18 S20 W18 \$ FOP:2021:17,11:=S34 E 4 N34 W4 \$ BAS:35,22:=W14 S27 W21 S37 E10 S18 E13 E12 N82 \$ UST:18,3:=S8 E3 N8 W3 \$ FOP:0,49:=N4 E21 S4 W21 \$ FOP:23,104:=S1 E4 N1 W4 \$ FOP:31,10 4:=S1 E4 N1 W4 \$ FOP:10,86:=S18 W6 N18 E6 \$ .

**BUILDING NOTES**

PARCEL NOTES

**COA-24-30969**

**3510 Oak Street**

**September 25, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-30969**

Address: 3510 Oak Steet, RE# 079434-0000

Location: Southern side of Oak Street between Edgewood and Talbot Avenue

Owner: Greg Hewitt  
3510 Oak Street  
Jacksonville FL, 32205

Applicant: Lyle Tunsill  
Better Builders of Jacksonville Inc  
15229 Bareback Drive  
Jacksonville FL, 32234

Year Built: 1927 (Property Appraiser)

Designation: Contributing, Riverside/Avondale

Request: Alterations

Summary Scope of Work:

1. Construction of outdoor sitting area and wall

**Recommendation: Approve with conditions**

Conditions:

1. The scope of work shall be substantially consistent to the plans dated July 12<sup>th</sup> 2024
2. The garage's roof extension over the sitting shall utilize a matching material to the existing roof.
3. The location of the wall and gate(s) shall be substantially consistent with the submitted site plan dated July 12<sup>th</sup>, 2024
4. Wall installation shall be consistent with the Fencing Guidelines for Locally Designated Historic Districts.
5. The stucco finish of the new wall shall match that of the home.



## **PROJECT DESCRIPTION**

COA-24-30969 seeks to build a covered sitting area and six-foot-tall masonry wall in the rear of the subject property. The covered rear yard sitting area will be located entirely within the backyard and will abut the detached garage. The wall will run along the inside of the driveway so as to separate the backyard and driveway. A gate in the middle of the wall will allow access to the backyard. Neither the wall nor outdoor sitting area will be directly street visible. 3510 Oak St is a contributing home in Riverside/Avondale.



## **STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Jacksonville Historic Districts and the Ordinance Code criteria found in Sections 307.106(k) and Section 307.106(m). The following is staff analysis:

- The proposed work will have minimal effect on the subject property or abutting properties as the scope of work is confined to the rear and side yards of the property. Covered, outdoor sitting areas are found throughout the district and many homes in the district utilize privacy fences or walls, 307.106(k) (1,2 , and 3).
- The proposed design of both the outdoor sitting area and wall both share design features with the main home. The outdoor sitting area's roof will be an extension of the detached garage's pitched roof and will utilize identical shingles. The stucco finishing on both the wall and sitting area will match that of the home and garage. Overall, the proposed alterations are of a compatible design to the main home and align with the stipulations set forth in Section 307.106(m)(1, 4, 6, and 8).

## **CODE CRITERIA AND DESIGN GUIDELINES**

### **General Criteria**

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done.
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district.
- 307.106(k)(3) - The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected.

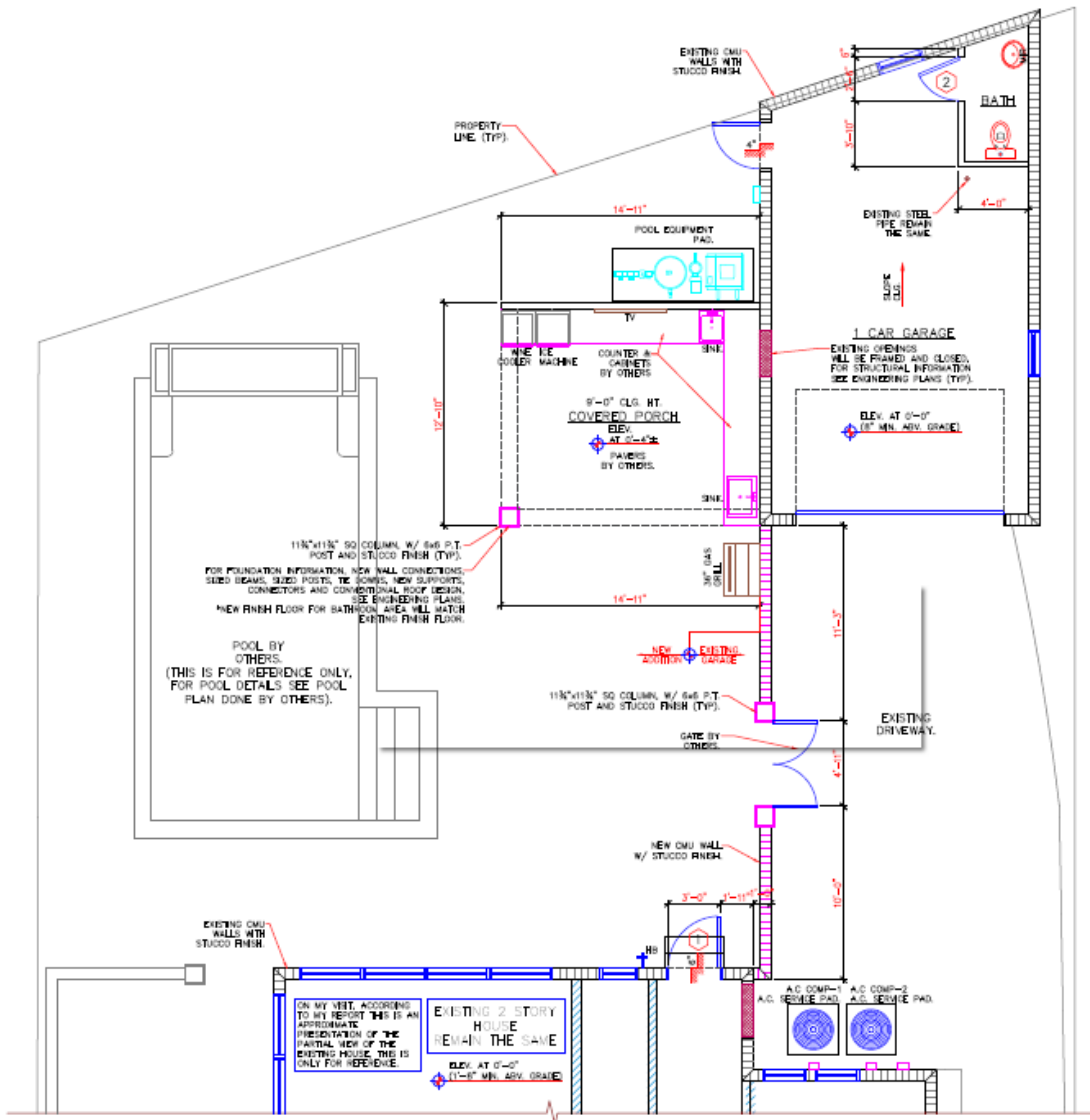
### **Alterations**

- 307.106(1) - *Height*. The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in an historic district.
- 307.106(4) - *Roof shape*. The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in an historic district.
- 307.106(6) – *Scale*. The scale of the structure after alteration, construction, or partial demolition shall be compatible with its architectural style and character and with surrounding structures in an historic district.
- 307.106(8) - *Architectural details*. Architectural details including materials and textures shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district. The Commission will give recommendations as to appropriate colors for any landmark or historic district.

**LOCATION MAP**



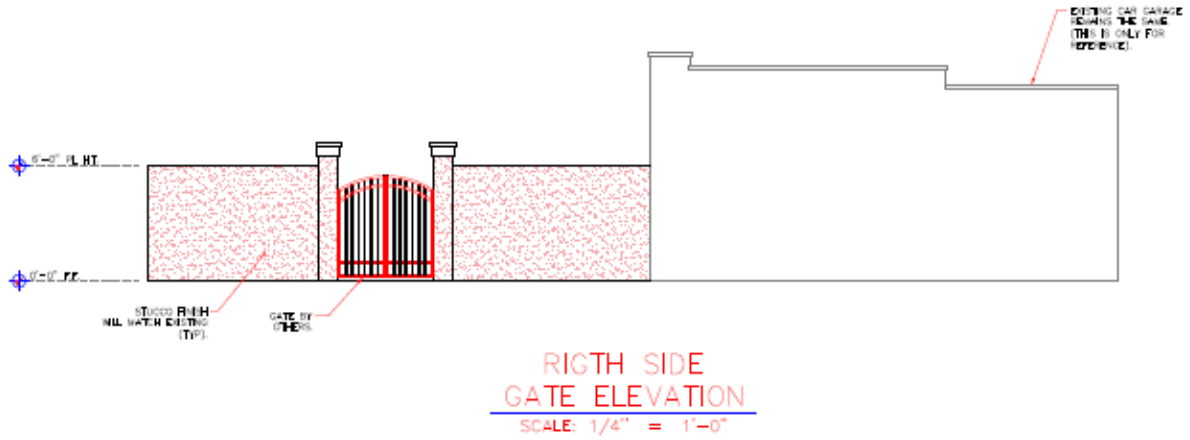
# SITE PLAN DATED JULY 12<sup>TH</sup> 2024



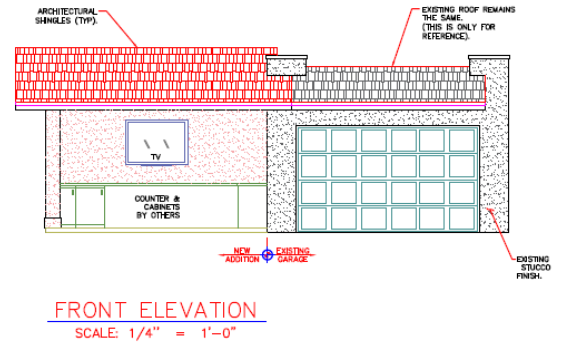
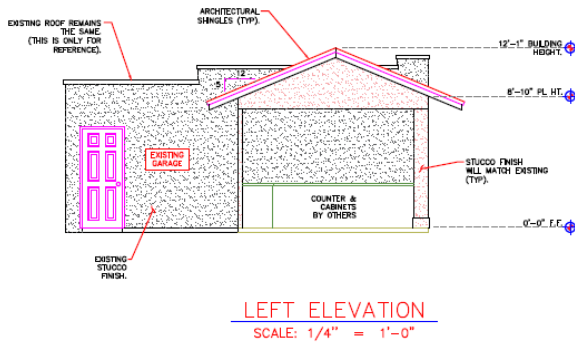
PARTIAL VIEW OF  
1ST FLOOR PLAN WITH  
PROPOSED ADDITIONS  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE	
SYM	TYPE
①	EXTERIOR DOOR S.C.
②	INTERIOR DOOR H.C.
SIZE	
3'-0" x 6'-8"	
2'-6" x 6'-8"	

## ELEVATION DRAWING OF WALL



## ELEVATION DRAWING OUTDOOR SITTING AREA



- NOTES:**
1. DIMENSIONS MAY VARY SLIGHTLY DUE TO FIELD MODIFICATIONS AND ADJUSTMENTS.
  2. EXISTING ROOF REMAINS THE SAME.
  3. FOR FLASHING DETAILS AND INSTALLATION SEE DETAILS ON THIS SHEET.
  4. STUCCO FINISH WALL (TYP.)
  5. ALL FINISHES CALLED "TEXTURED CEMENT" ARE 2 OR 3 COAT STUCCO PER ASTM C926/C1063 AND FBC 2017 R103.6
  6. STUCCO BANDS ARE 4" x 8" x 3/4" THICK UNO.



PICTURE OF PROPERTY WITH POSTED SIGN







# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY, ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: 9-24-24  
Address: 3510 Oak St  
Jacksonville, FL 32205

COA#: 24-30969  
Owner: Greg Hewitt / Gerald Roy

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS provided to me for application COA-24-30969 were posted on the property/site located at:

079434-0000  
Real Estate Number(s)  
3510 Oak St.  
Street Address  
Jacksonville, FL 32205  
City, State Zip Code

Printed Name Lyle Tunstall  
Signature [Signature]  
Dated this 4<sup>th</sup> day of Sept., 2024.



## Application For Certificate Of Appropriateness

### Application Info

<b>Tracking #</b>	30969	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	06/25/2024	<b>Date Submitted</b>	06/25/2024

### Planning and Development Department Info

<b>COA #</b>	COA-24-30969
<b>Admin Review</b>	<input type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	8/30/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	9/25/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

### General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
TUNSILL	LYLE	H
<b>Company Name</b>		
BETTER BUILSDERS OF JACKSONVILLE INC		
<b>Mailing Address</b>		
15229 BAREBACK DR		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32234
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 651 5981	904	LTUN@ATT.NET

### General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
HEWITT	GREG	
<b>Company/Trust Name</b>		
<b>Mailing Address</b>		
3510 OAK ST		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
2022884922		GREG_HEWITT@YAHOO.COM

### Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

<b>Map</b>	<b>RE#</b>
------------	------------



	079434 0000

### Location Of Property

#### General Location

Riverside/Avondale Historic District

#### House #

3510

#### Street Name, Type and Direction

OAK ST

#### Zip Code

32205

### Type Of Improvement

- Addition    Driveway    New Construction    Accessory Structures  
 Alteration    Relocation    Window Replacement    Other  
 Fencing    Demolition    Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.

(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

#### Proposed Work

BUILD OUTDOOR SERVICE AREA IN THE BACK YARD WITH ROOF COVER.

### Addition Information

**Is this a violation?** Check the box if it is.

**If you have been working with a planner** choose one from the list

### Additional Documents Provided

### Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

**Application completeness review:** All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

**Payment deadline:** The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.



BUILDING CHARACTERISTICS			
CATEGORY	TYPE	%	PTS
Exterior Wall	17 C. B. STUCCO	100	39.00
Roof Struct	3 GABLE OR HIP	100	6.00
Roofing Cover	3 ASPH/COMP SHNG	100	4.00
Interior Wall	3 PLASTERED	100	31.00
Int Flooring	12 HARDWOOD	75	10.00
Int Flooring	11 CER CLAY TILE	25	4.00
Heating Fuel	4 ELECTRIC	100	1.00
Heating Type	4 FORCED-DUCTED	100	4.00
Air Cond	4 PACKAGED UNIT	100	6.00

0100 Single Family

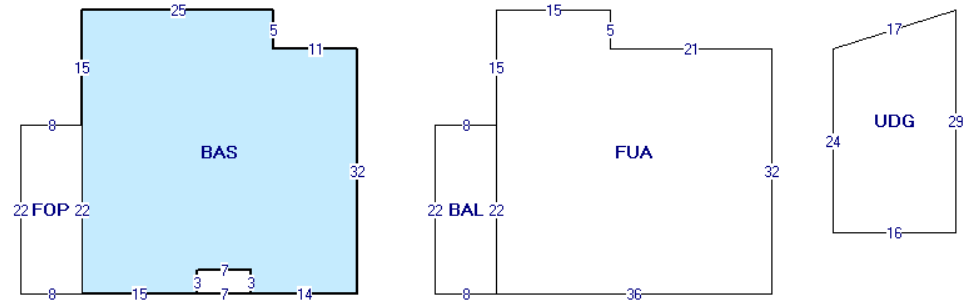
\*\* VALUE SUBJECT TO CHANGE \*\*

CATEGORY	UNITS	ADJ
Stories	2.00	0
Bedrooms	3.00	0
Baths	2.50	0
Rooms / Units	1.00	0

BASE RATE ADJ		ADJ
Quality Adjustment		1.2000
Mkt/Design Factor		1.0000
Size Adj.		0.9600
TOTAL ADJUSTED POINTS		130
DEPRECIATION ADJ		ADJ

TYPE	STYLE	CLS	QUA	HX %	NHX %	LOC	% COMP
0108	01	3	04	100.00	0.00	1.00	100

SAR	AREA	B	H	P. of B.	EFF. AREA	DPR VALUE
BAL	176			15	26	4,815
BAS	1,256	X		100	1,256	232,582
FOP	197			30	59	10,925
FUA	1,248	X		95	1,186	219,620
UDG	424			50	212	39,257
3,301		2,504		2,739		\$507,199



BUILDING: 1 AKA:  
 SITE ADDRESS: 3510 OAK ST JACKSONVILLE 32205

0108 SFR CLASS 2

L N	VOLUME / YEAR	PAGE / CLERK	DATE OF SALE	I N	Q U	V I	R E	SALES PRICE	NOTE AMOUNT	MAC	MAC AMOUNT	GRANTOR	GRANTEE	SALES NOTE
1	20431	01159	8/31/2022	WD	Q	I	01	765000		0	N	BOLT KRISTEN A	ROY GERALD W	20221013 GRANTOR
2	07157	01847	7/31/1991	WD	Q	I	02	120000		0	N			
3	07157	01845	7/31/1991	QC	U	I	11	10000		0	N			
4	04173	00676	6/15/1976	MS	U	I	11	100		0	N			

L N	OB/XF CODE	DESCRIPTION	BLD	HX %	NHX %	LENGTH	WIDTH	UNITS	GRADE	FACTOR	UNIT PRICE	ADJ UNIT PRICE	ORIG COND	ACTUAL YEAR	EFF YEAR	YEAR ON ROLL	% COND	OB/XF MKT VALUE	APPRaisal DATES	APPRAISED BY	
1	FPMR7	Fireplace Masonry	1	100.00	0.00	0	0	2.00	7	100	4,483.75	8,967.50	100	1927	1927		20	3,587	BUILDING LAND LINES VALUE REVIEW TRIENNIAL INCOME	5/12/1995 6/22/2001 6/23/2023 8/3/2012	JLW HCG DAP MKL

L N	USE CODE	LAND USE DESCRIPTION	HX %	NHX %	R D	LOC ZONE	FRONT	DEPTH	SIZE FACTOR	UNITS	UNIT TYPE	D T	DPTH FACT	COND FACTOR	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE
C	1	0100 RES LD 3-7 UNITS PER AC	100.00	0.00		RLD-60	60.00	106.00	100.00	60.00	F	1	0.90	1.00	2,300.00	2,070.00	124,200

L N	DATE	BLD	USER ID	CD	PARCEL NOTES

Duval County Property Appraisers Office					Tax Dist USD1	
VALUE SUMMARY						
PRIMARY VALUATION METHOD	CAMA					
BUILDING VALUE	507,199					
EXTRA FEATURE VALUE	3,587					
TOTAL MARKET LAND VALUE	124,200					
MARKET VALUE OF AG LAND	0					
TOTAL LAND VALUE AG + COMMON	0					
MARKET VALUE	634,986					
ASSESSED VALUE	634,986					
CAP BASE YEAR	2023					
TAXABLE VALUE	584,986					
EXEMPTIONS	HB HX					
TOTAL EXEMPTIONS VALUE	50,000					
SENIOR EXEMPTION VALUE	0					
SR/HISTORIC TAXABLE VALUE	N/A					

PERMIT NO.	TP	ST.	DESCRIPTION	EST VALUE	ISSUE DATE
2544	MISC			2,000	1/20/1994

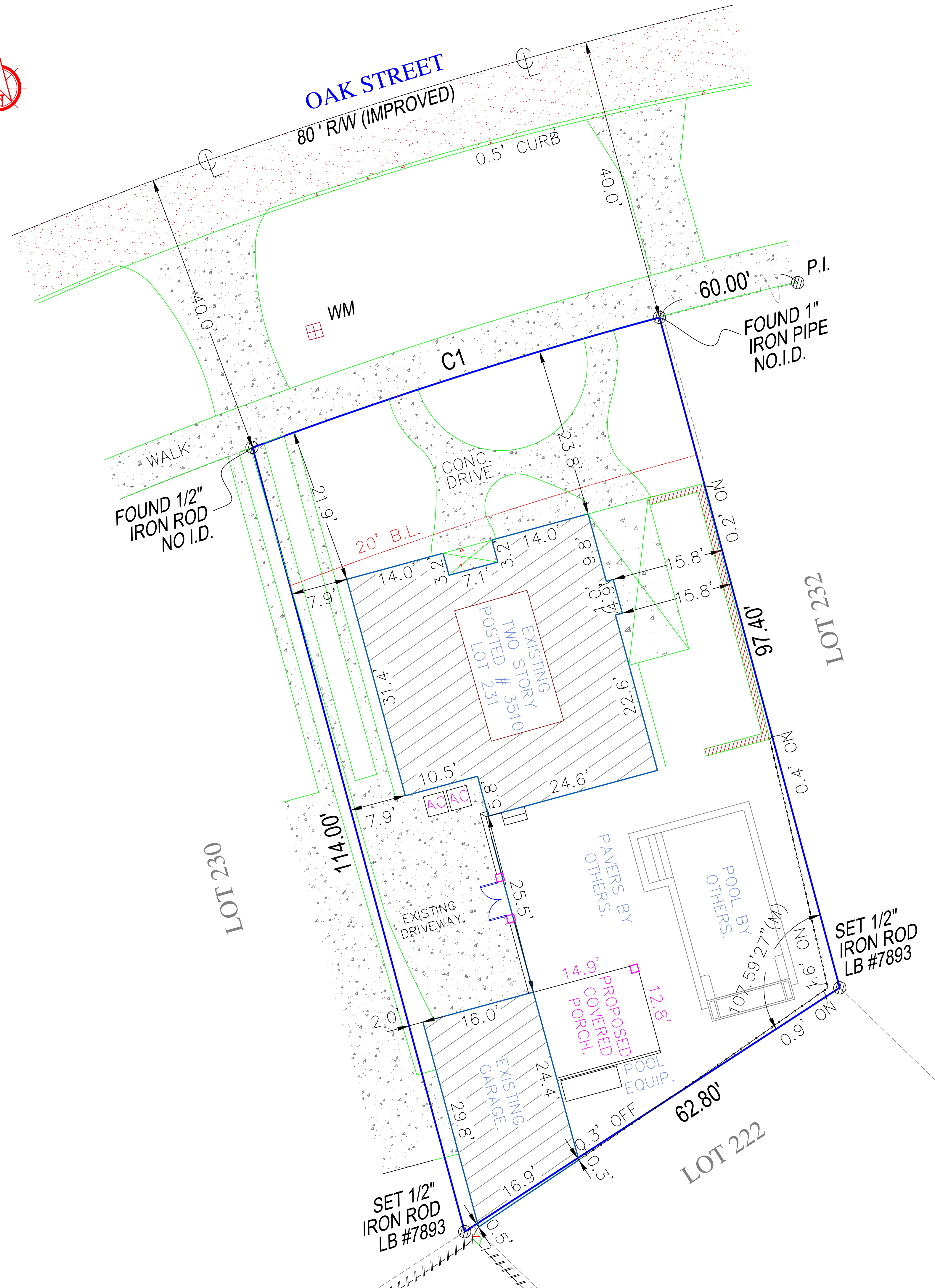
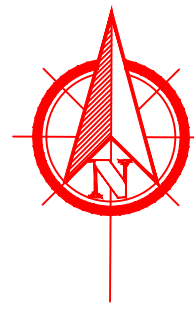
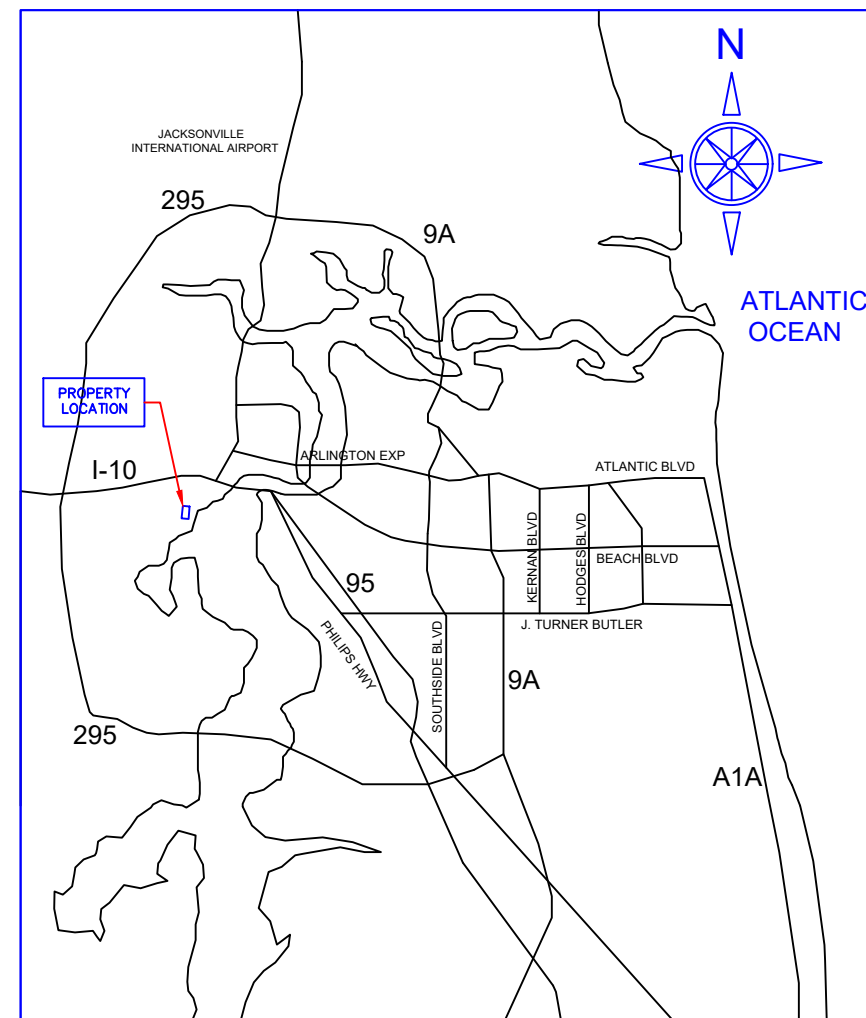
**BUILDING DIMENSIONS**  
 UDG:122,0:=D5L16 S24 E16 N29 \$ FUA:98,5:=W21 N5 W 15 S37 E36 N32 \$ BAL:54,15:=S22 E8 N22 W8 \$ BAS: 44,5:=W11 N5 W25 S37 E15 N3 E7 S3 E14 N32 \$ FOP;F UA:23,37:=N3 E7 S3 W7 \$ FOP:8,37:=W8 N22 E8 S22 \$

**BUILDING NOTES**



AG DESIGN GROUP, LLC.  
ANGEL E. GUERRERO  
(904) 755-3051

ROY RESIDENCE  
3510 OAK ST  
JACKSONVILLE, FL 32205



PROPERTY ADDRESS:  
3510 OAK ST  
JACKSONVILLE, FL 32205

LEGEND:

EXISTING HOUSE	
PROPOSED ADDITION	
METAL FENCE	
WOOD FENCE	

SQUARE FOOTAGE OF THE LOT	6,098.0
SQUARE FOOTAGE OF EXISTING AND ADDITION.	3,492.0
DRIVEWAYS AND SIDEWALKS.	1,052.0
AC PAD.	42.0
TOTAL SQUARE FOOTAGE	4,586.0
LOT COVERAGE PERCENT MAX. TO BUILD	50.0%
BUILDING COVERAGE IS 50%, IMPERVIOUS 65%	

NOTES:

SET BACKS:  
FRONT 20'  
REAR 10'  
SIDES 5' EACH SIDE.  
TOTAL HIGH TO BUILD 35'

SET BACKS ARE MEASURED TO THE FURTHERS PROJECTION ON SITE PLAN.

THE HEIGHT OF THE NEW ADDITION SEE ELEVATIONS PLANS, (THIS PLOT PLAN IS AN APPROXIMATE DESIGN BASED ON THE INFORMATION OBTAINED OF THE EXISTING SURVEY PLAN).

FOR STRUCTURAL INFORMATION, SEE ENGINEERING PLANS.  
BUILDING HEIGHT FOR THE NEW ADDITION IS 12'-2".

PLOT PLAN  
SCALE: 1/8" = 1'-0"

SCHEDULE OF DRAWINGS:

- A-0. MAP LOCATION AND PLOT PLAN.
- A-1. PARTIAL VIEW EXISTING 1ST FLOOR PLAN AND SECTION WALL.
- A-2. PARTIAL VIEW 1ST FLOOR PLAN WITH PROPOSED ADDITIONS, GENERAL NOTES AND SECTION WALL.
- A-3. ELECTRICAL PLAN WITH GENERAL ELECTRICAL NOTES.
- A-4. ROOF PLAN WITH GENERAL ROOF NOTES.
- A-5. ELEVATION PLANS, FLASHING DETAILS WITH GENERAL NOTES.

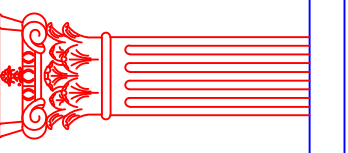
TOTAL SQUARE FOOTAGE		SQUARE FOOTAGE	
HEATING AND COOLING AREA (FOR 1ST AND 2ND FLOOR)	2,514	ENCLOSED CONDITIONED (1ST FLOOR)	2,514
ENTRY	21	UNCONDITIONED (ENTRY, GARAGE, COVERED PORCH, BALCONY AND NEW COVERED PORCH)	978
GARAGE	424		
COVERED PORCH	176		
BALCONY	176		
NEW COVERED PORCH	191		
TOTAL S.Q. :	3,492		

TOTAL SQUARE AREAS:	
A. AREA OF ALL ENCLOSED CONDITIONED SPACE.	SQ 2,514
B. ALL UNENCLOSED SPACE.	SQ 978
C. NEW ADDITION TOTAL SQ FOOTAGE	SQ 191
D. VOLUME OF ENCLOSED CONDITIONED SEE ENERGY REPORT. ( )	

- NOTES:
- THIS IS A CONCEPTUAL ARCHITECTURAL DRAWINGS AND THIS DESIGN NEEDS ENGINEERING PLANS.
  - BUILDER AND CONTRACTORS WILL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS, FINISH FLOOR ELEVATIONS, PLATE HEIGHTS, VERIFY PITCH, ROOF PLACEMENT, MATCH EXISTING HOUSE AND ALL CONDITIONS OF THE JOB PRIOR TO CONSTRUCTION.
  - THE PURPOSE OF THESE PLANS IS TO BUILT A NEW COVERED PORCH AT THE REAR OF THE EXISTING HOUSE, SOME MATERIALS WILL MATCH WITH EXISTING HOUSE.

REVISIONS BY

AG DESIGN GROUP, LLC.  
ANGEL E. GUERRERO  
(904) 755-3051  
COPYRIGHT NOTICE THESE PLANS, DESIGNS, AND IDEAS ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF A.E.G. ALL RIGHTS RESERVED.

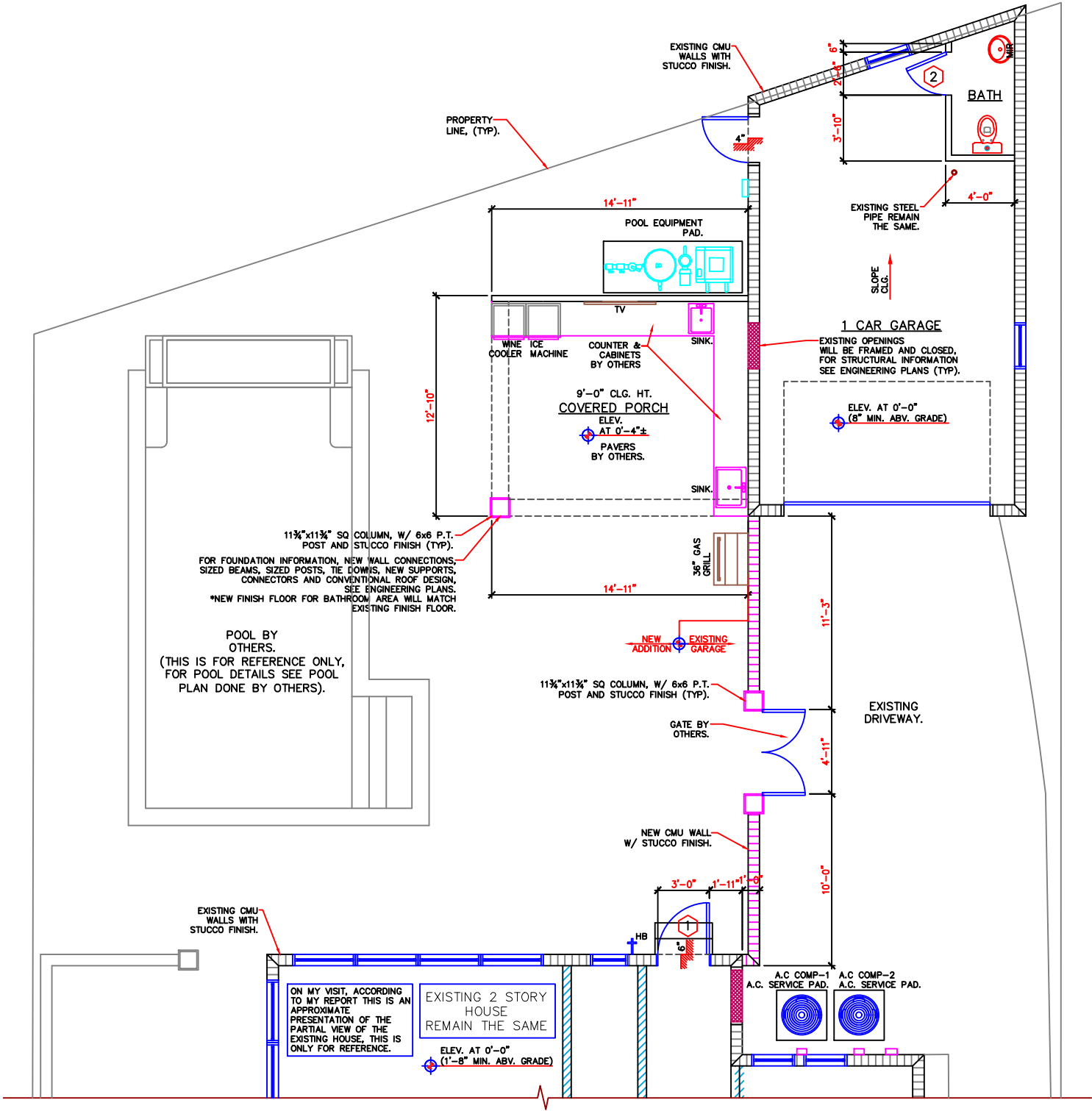


ROY RESIDENCE  
3510 OAK ST  
JACKSONVILLE, FL 32205

CUSTOMER  
ROY RESIDENCE  
ADDRESS  
3510 OAK ST  
JACKSONVILLE, FL  
DESIGNED  
A.G.  
DATE  
03.11.24  
SCALE  
AS NOTED

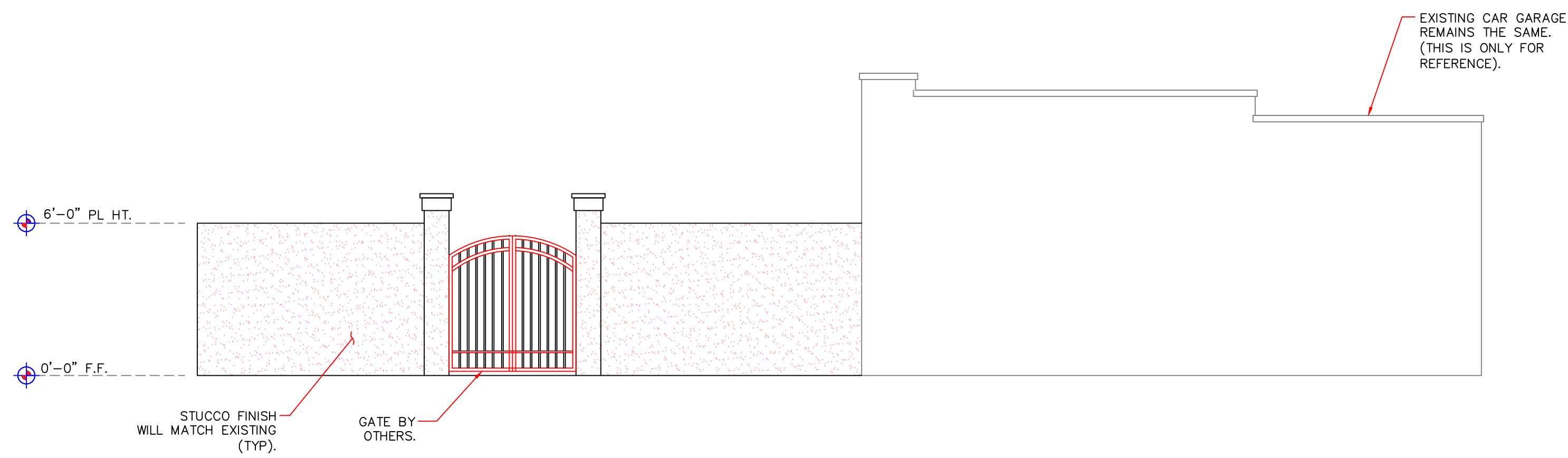
A-0  
SHEET 1-6



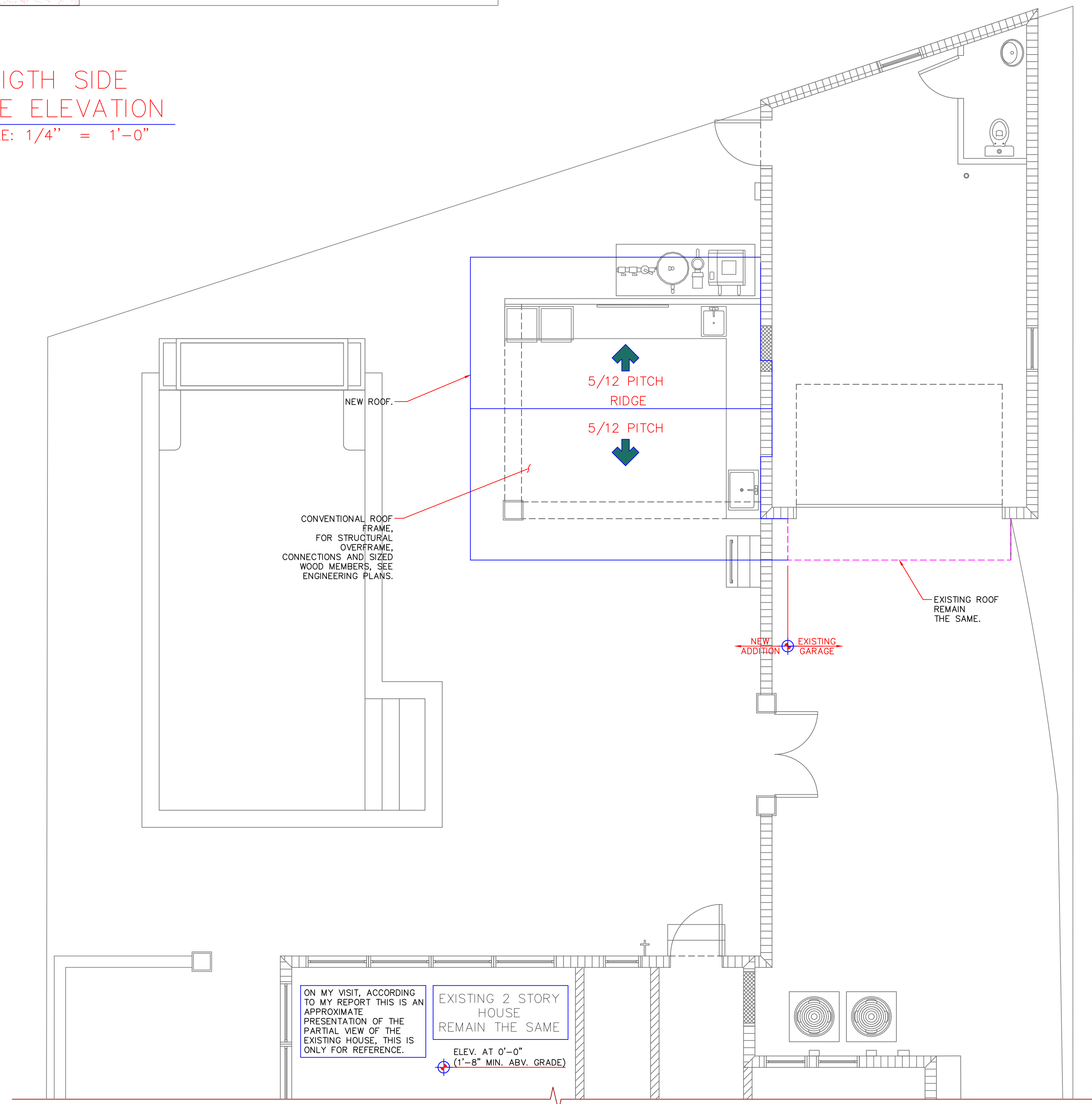


PARTIAL VIEW OF  
1ST FLOOR PLAN WITH  
PROPOSED ADDITIONS  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE	
SYM TYPE	SIZE
① EXTERIOR DOOR S.C.	3'-0" x 6'-8"
② INTERIOR DOOR H.C.	2'-6" x 6'-8"



RIGH SIDE  
GATE ELEVATION  
SCALE: 1/4" = 1'-0"



ROOF PLAN  
SCALE: 1/4" = 1'-0"

GENERAL ROOF NOTES:

- (1) FASCIA: SQUARE CUT.
- (2) OVERHANG: 2'-0" AND 2'-5" AS NOTED.
- (3) ROOF PITCH SEE ROOF PLAN.
- (4) ROOF FRAMING TO BE CONVENTIONAL, RAFTER SPACING SHALL BE 24" O.C. UNLESS OTHERWISE AS NOTED, SEE ENGINEERING PLANS.
- (5) ROOF FRAMING LUMBER TO BE #2 OR BETTER.
- (6) INDICATES DIRECTION OF ROOF SLOPE.  
GENERAL CONTRACTOR WILL VERIFY THE ROOF SLOPE ON THE FIELD.
- (7) USE 3/4" CCX PLY @ ALL EXPOSED EAVES.
- (8) USE 300# COMPOSITION SHINGLES OVER 15# FELT.
- (9) ROOFING: ARCHITECTURAL SHINGLES (TYP).
- (10) SHEATHING: 7/16" OSB.
- (11) PEEL/STICK UNDERLAYMENT ONLY.
- (12) TOP PLATE HEIGHTS INFORMATION SEE SHEET A-2 AND FOR ELEVATION HEIGHTS SEE SHEET A-5.
- (13) DIMENSIONS MAY VARY SLIGHTLY DUE TO FIELD MODIFICATIONS AND ADJUSTMENTS, BUILDER AND CONTRACTORS WILL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS, FINISH FLOOR ELEVATIONS, PLATE HEIGHTS, VERIFY AND ACCOMMODATE PITCH, ROOF PLACEMENT OF CONVENTIONAL FRAME AND MATCH EXISTING HOUSE AND ALL CONDITIONS OF THE JOB PRIOR TO CONSTRUCTION.

ROOF VENT CALCULATION

ATTIC AREA (TOTAL UNDER ROOF)	337
DIVIDE BY CODE REQUIREMENT	300
MIN. NET FREE VENTILATING AREA REQUIRED	1.12

NOTE: FBCR 806.2 EXC. 2; PERMITS ROOF VENTILATING AREA TO BE CALCULATED AT 1/300 PROVIDED THAT 40-50% OF THE REQUIRED VENTILATION IS PROVIDED BY ROOF VENTILATORS LOCATED WITHIN 3'-0" OF THE RIDGE OR HIGH POINT (UNLESS CONFLICTS EXISTS) MEASURED VERTICALLY, AND THE BALANCE OF THE REQUIRED VENTILATION BY EAVE OR CORNICE VENTS.

NOTE: ENGINEER TO VERIFY INTERIOR ROOF TRUSS BEARING WITH THE ROOF TRUSS ENGINEERING PRODUCED SPECIFICALLY FOR THIS PROJECT. ENGINEER TO VERIFY EXTERIOR LOAD BEARING PAD SIZES & LOCATION. (IF IS NEEDED).

REVISIONS BY

AG DESIGN GROUP, LLC.  
ANGEL E. GUERRERO  
(904) 755-3051  
COPYRIGHT NOTICE THESE PLANS, DESIGNS, AND IDEAS ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF A.E.G. ALL RIGHTS RESERVED.

ROY RESIDENCE  
3510 OAK ST  
JACKSONVILLE, FL 32205

CUSTOMER  
ROY RESIDENCE  
ADDRESS  
3510 OAK ST  
JACKSONVILLE, FL  
DESIGNED  
A.G  
DATE  
03.11.24  
SCALE  
AS NOTED

A-4  
SHEET 5-6

**COA-24-31157**

**3380 Knight  
Street**

**September 25, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-31157**

**Address:** 3380 Knight Steet, RE# 078700-0000

**Location:** South side of Knight Steet, between Challen Avenue and Avondale Avenue

**Owner:** Deborah Hills  
3380 Knight Steet  
Jacksonville FL, 32205

Thomas Baird  
3380 Knight Steet  
Jacksonville FL, 32205

**Applicant:** Jeff Martin  
Greystone Construction Management  
9456 Phillips Hwy  
Jacksonville FL, 32256

**Year Built:** 1920 (Property Appraiser)

**Designation:** Contributing; Riverside/Avondale

**Request:** New Construction and Alterations

**Summary Scope of Work:**

1. First floor renovation and addition of second floor expansion

**Recommendation:** **Approve with conditions**

**Conditions:**

1. Materials, design, and height shall be substantially consistent with the elevation drawings dated **August 5<sup>th</sup>, 2024** or as otherwise approved by the Historic Preservation Section.
2. Location and orientation shall be as substantially shown on the site plan dated **August 5<sup>th</sup>, 2024** or as otherwise approved by the Historic Preservation Section.
3. The fascia boards and soffits shall be composed of wood or a cementitious material (no vinyl or PVC).
4. The siding shall be installed with the smooth side facing outward.
5. All windows shall be installed in accordance with the latest version of the HPS Window Supplement.



6. Prior to the final inspection of any building permit, the owner or their agent shall submit to the Historic Preservation Section an affidavit and any supplementary evidence that verifies compliance with all conditions of the COA final order.

### **PROJECT DESCRIPTION**

COA-24-31157 seeks to expand the second floor of the home and partially renovate the first floor. An existing room on the rear elevation of the home that currently protrudes from the home will be partially demolished and then rebuilt extending to the second floor. The home, 3380 Knight Street is a two story, contributing home in the Riverside/Avondale District and is of a frame vernacular design with both Colonial and Classic Revival features.



### **STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Jacksonville Historic Districts and the Ordinance Code criteria found in Sections 307.106(k) and 307.106(m)

- Pursuant to Section 307.106(k)(1, 2, and 3) while the proposed work would affect the overall historic fabric of the subject home, it would be a relatively minor one as the proposed modifications are relatively small in scope and located in the rear of the home. For example, character defining features (such as the chimneys) will not be affected.
- Related to section 307.106(m)
- The height of the expansion would align with the home and would not raise the current top height of the home. 307.106(m)(1)

- The proposed windows are of commonly found proportions and utilize a one-over one-design found on the rest of the home. Section 307.106(m)(2)
- Both building scale and mass would not be altered too greatly as the scope of work seeks will not be too greatly expanding the building's footprint outward but rather taking a preexisting feature and expanding it vertically. Section 307.106(m) (3 and 6)
- The roof of the home will be extended over the new addition which will utilize the same pitch and shingles so as to appear original Section 307.106(4)
- The proposed expansion will utilize horizontal siding to stay consistent with the original section of the rear of the home. Section 307.106(m)(8)

## **CODE CRITERIA AND DESIGN GUIDELINES**

### **General Criteria**

- 307.106(k) (1) The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k) (2) The relationship between such work and other structures on the landmark site or other property in the historic district;
- 307.106(k)(3) The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected;

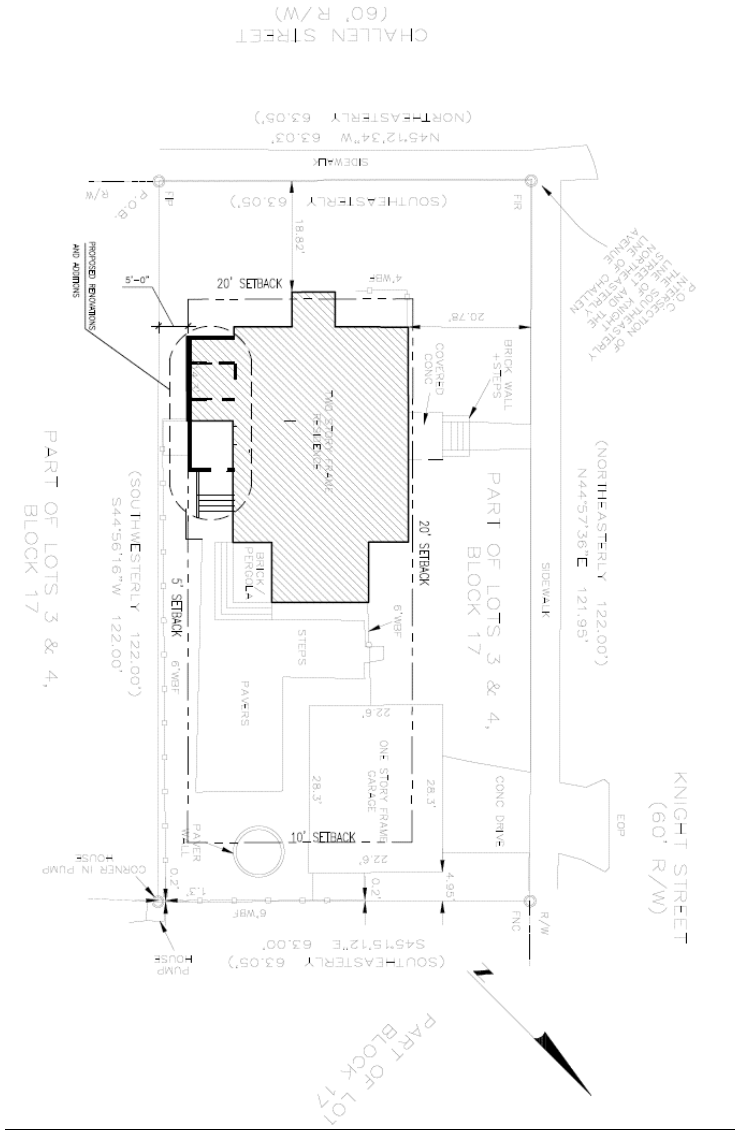
### **Alterations**

- Section 307.106(m)(1) - *Height*. The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in an historic district.
- Section 307.106(m)(2) - *Proportions of windows and doors*. The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in an historic district.
- Section 307.106(m)(3) - *Relationship of building masses, setbacks and spaces*. The relationship of a structure within an historic district to the open space between it and adjoining structures shall be compatible.
- Section 307.106(m)(4) – *Roof Shape*. The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in an historic district.
- Section 307.106(m)(6) - *Scale*. The scale of the structure after alteration, construction, or partial demolition shall be compatible with its architectural style and character and with surrounding structures in an historic district.
- Section 307.106(m)(8) - *Architectural details*. Architectural details including materials and textures shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district. The Commission will give recommendations as to appropriate colors for any landmark or historic district.

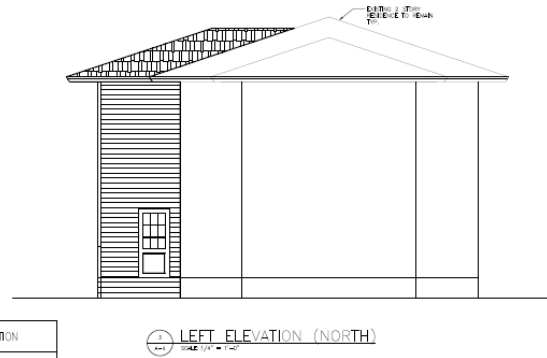
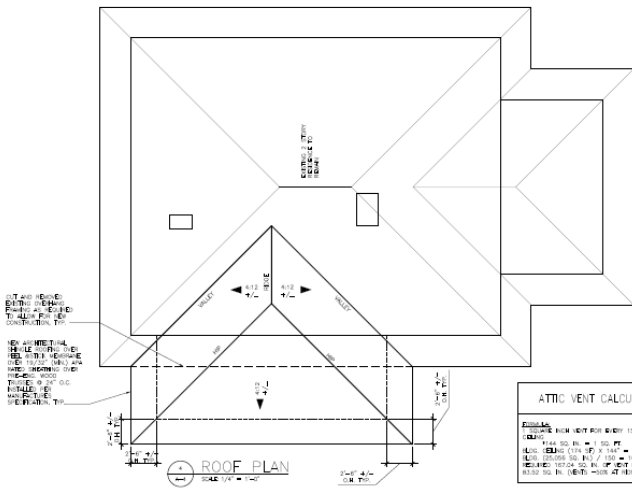
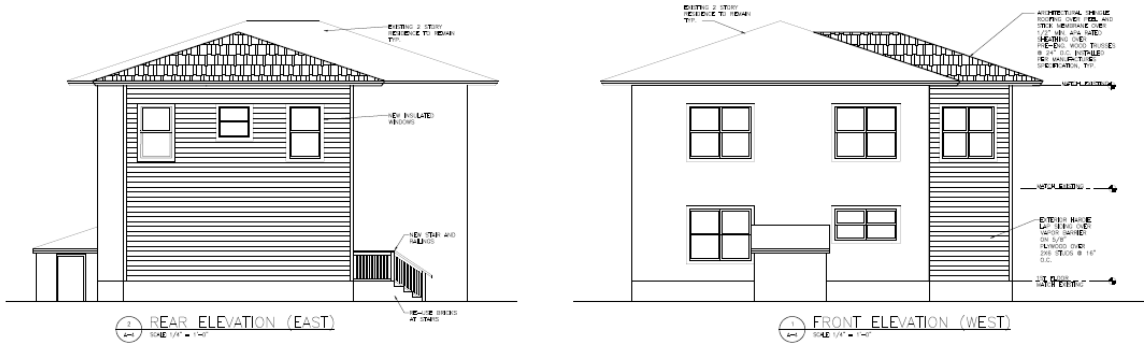
LOCATION MAP



**SITE PLAN DATED AUGUST 5<sup>TH</sup> 2024**



# ELEVATION DRAWING DATED AUGUST 5<sup>TH</sup> 2024



ATTIC VENT CALCULATION	
ROOF AREA:	130 SQUARE FEET
MINIMUM VENT AREA:	1/150 SF
REQUIRED VENT AREA:	0.87 SF
VENT SIZE (12" X 12" = 1.44 SF):	6 VENTS REQUIRED
VENT SIZE (12" X 12" = 1.44 SF):	6 VENTS REQUIRED
VENT SIZE (12" X 12" = 1.44 SF):	6 VENTS REQUIRED



**PICTURE OF PROPERTY WITH POSTED SIGN**



# Application For Certificate Of Appropriateness

## Application Info

<b>Tracking #</b>	31157	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	08/05/2024	<b>Date Submitted</b>	08/05/2024

## Planning and Development Department Info

<b>COA #</b>	COA-24-31157
<b>Admin Review</b>	<input checked="" type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	8/30/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	9/25/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

## General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
MARTIN	JEFF	
<b>Company Name</b>		
GREYSTONE CONSTRUCTION MANAGEMENT		
<b>Mailing Address</b>		
9456 PHILIPS HWY		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32256
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 213 9100		CORAL@GREYSTONEKITCHENS.COM

## General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
HILLS	DEBORAH	
<b>Company/Trust Name</b>		
<b>Mailing Address</b>		
3380 KNIGHT STREET		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
6232019319		HILLS.DEBORAH@GMAIL.COM

Agent represents  Owner  Contractor  Architect  Consultant  Other



<b>Last Name</b> BAIRD	<b>First Name</b> THOMAS	<b>Middle Name</b> 
<b>Company/Trust Name</b> 		
<b>Mailing Address</b> 3380 KNIGHT STREET		
<b>City</b> JACKSONVILLE	<b>State</b> FL	<b>Zip Code</b> 32205
<b>Phone</b> 6025026144	<b>Fax</b> 	<b>Email</b> HILLS.DEBORAH@GMAIL.COM

**Description Of Property**

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map	RE#
	078700 0010

**Location Of Property**

**General Location**  
Riverside/Avondale Historic District

<b>House #</b> 3380	<b>Street Name, Type and Direction</b> KNIGHT ST	<b>Zip Code</b> 32205
------------------------	---	--------------------------

**Type Of Improvement**

**Addition**
 **Driveway**
 **New Construction**
 **Accessory Structures**  
 **Alteration**
 **Relocation**
 **Window Replacement**
 **Other**  
 **Fencing**
 **Demolition**
 **Reroof/Minor Repairs**

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.  
(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

**Proposed Work**  
FIRST FLOOR RENOVATION AND EXTENSION WITH A SECOND FLOOR ADDITION.

**Addition Information**

**Is this a violation?** Check the box if it is.

**If you have been working with a planner** choose one from the list

**Addition - Required Attachments For Complete Application**

- Site Plan** - Existing/proposed site plan with addition identified. (To scale bar scaled dimensional drawings needed. Directional arrows needed.)
- Existing Elevations** - Existing elevations or photos of existing sides. (To scale bar scaled dimensional drawings needed.)
- Proposed Elevations** - Proposed front, sides and rear elevations. (To scale bar scaled dimensional drawings needed.)
- Overall Photos Of Site**



- Photos Of Addition Area**
- Description Of Any Demo**

**Additional Documents Provided**

**Application Certification**

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.



# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY. ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: September 8, 2024

COA#: 24 - 31157

Address: 3380 Knight Street

Owner: Deborah Hills and Thomas Baird

Jacksonville, FL 32205

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application CR745939 were posted on the property/site located at:

Real Estate Number(s)

3380 Knight Street

Street Address

Jacksonville, FL 32205

City, State Zip Code

Deborah Hills

Printed Name

Signature

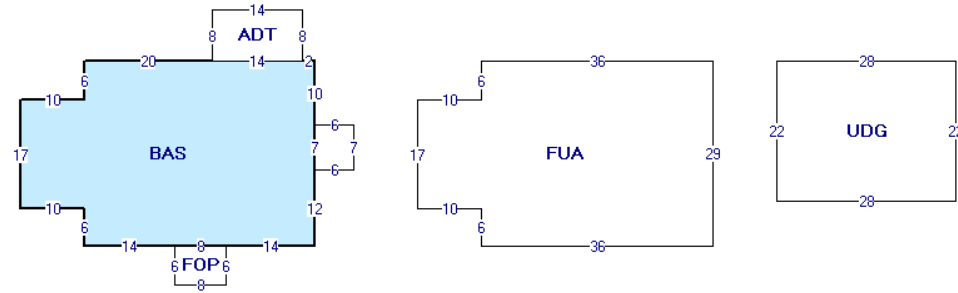
Dated this 8th day of September, 2024



BUILDING CHARACTERISTICS			
CATEGORY	TYPE	%	PTS
Exterior Wall	26 ALUM/VINYL	75	29.00
Exterior Wall	14 WOOD SHINGLE	25	10.00
Roof Struct	3 GABLE OR HIP	100	6.00
Roofing Cover	3 ASPH/COMP SHNG	100	4.00
Interior Wall	3 PLASTERED	100	31.00
Int Flooring	12 HARDWOOD	100	13.00
Heating Fuel	4 ELECTRIC	100	1.00
Heating Type	4 FORCED-DUCTED	100	4.00
Air Cond	3 CENTRAL	100	7.00

0100 Single Family

\*\* VALUE SUBJECT TO CHANGE \*\*



Duval County Property Appraisers Office		Tax Dist USD1	
VALUE SUMMARY			
PRIMARY VALUATION METHOD	CAMA		
BUILDING VALUE	453,249		
EXTRA FEATURE VALUE	3,139		
TOTAL MARKET LAND VALUE	166,320		
MARKET VALUE OF AG LAND	0		
TOTAL LAND VALUE AG + COMMON	0		
MARKET VALUE	622,708		
ASSESSED VALUE	458,254		
CAP BASE YEAR	2021		
TAXABLE VALUE	408,254		
EXEMPTIONS	HB HX		
TOTAL EXEMPTIONS VALUE	50,000		
SENIOR EXEMPTION VALUE	0		
SR/HISTORIC TAXABLE VALUE	N/A		

CATEGORY	UNITS	ADJ
Stories	2.00	0
Bedrooms	3.00	0
Baths	3.00	0
Rooms / Units	1.00	0

BASE RATE ADJ		ADJ
Quality Adjustment	1.0000	
Mkt/Design Factor	1.0000	
Size Adj.	0.9600	
TOTAL ADJUSTED POINTS		109
DEPRECIATION ADJ		ADJ

TYPE	STYLE	CLS	QUA	HX %	NHX %	LOC	% COMP
0108	01	4	03	100.00	0.00	1.00	100

REPL. COST NEW	AYB	EYB	DT	NORM	% GOOD
564,796	1920	2000	R2	19.75	80.25%

SAR	AREA	B	H	P. of B.	EFF. AREA	DPR VALUE
ADD	0			0	0	0
ADT	112		X	90	101	16,309
BAS	1,214		X	100	1,214	196,026
FOP	48			30	14	2,261
FUA	1,214		X	95	1,153	186,176
UDG	616			50	308	49,733
UST	42			40	17	2,745
3,246				2,540	2,807	\$453,249

BUILDING: 1 AKA:  
 SITE ADDRESS: 3380 KNIGHT ST JACKSONVILLE 32205

0108 SFR CLASS 2

L N	VOLUME / YEAR	PAGE / CLERK	DATE OF SALE	I N	Q U	V I	R E	SALES PRICE	NOTE AMOUNT	MAC	MAC AMOUNT	GRANTOR	GRANTEE	SALES NOTE
1	20684	01610	5/9/2023	WD	Q	I	01	850000		0	N	BLACKWELL ALAN R	BAIRD THOMAS KENNEDY ET	20230530 FBI SLIGHT
2	19156	01612	3/23/2020	WD	Q	I	01	512500		0	N	HANDLEY JULIA B	BLACKWELL ALAN R	20200420
3	09663	01119	4/17/2000	WD	U	I	14	100		0	N	REID JULIA B &NKA		20001206 SA2
4	07232	00297	10/30/1991	WD	Q	I	01	148000		0	N			

L N	OB/XF CODE	DESCRIPTION	BLD	HX %	NHX %	LENGTH	WIDTH	UNITS	GRADE	FACTOR	UNIT PRICE	ADJ UNIT PRICE	ORIG COND	ACTUAL YEAR	EFF YEAR	YEAR ON ROLL	% COND	OB/XF MKT VALUE	APPRaisal DATES	APPRAISED BY	
1	FPMR7	Fireplace Masonry	1	100.00	0.00	0	0	2.00	6	100	4,483.75	7,846.56	100	1920	1920		20	3,139	BUILDING LAND LINES VALUE REVIEW TRIENNIAL INCOME	1/31/2001 4/19/2004 7/18/2023 6/4/2012	PAP SFB BEA EDR

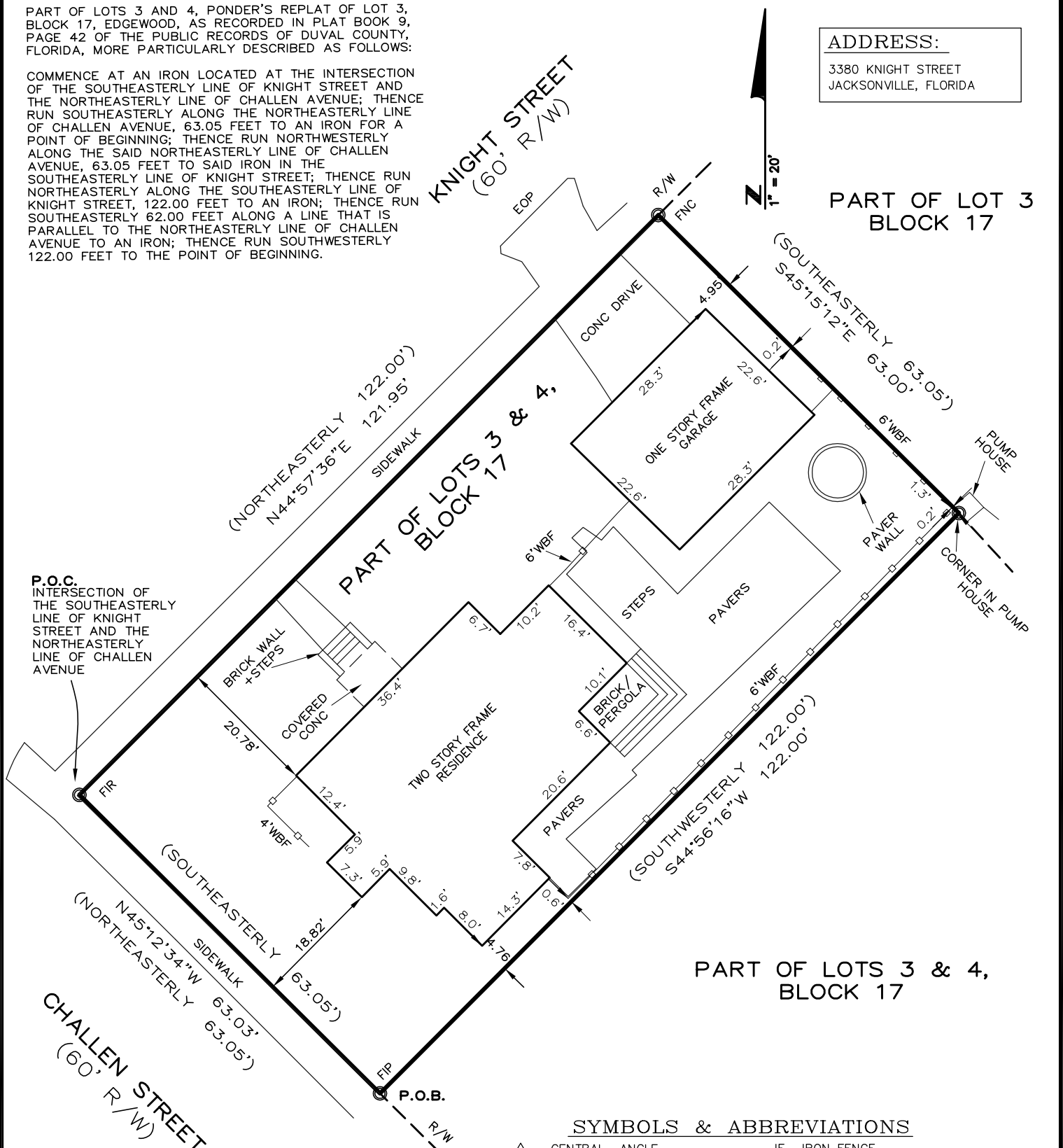
L N	USE CODE	LAND USE DESCRIPTION	HX %	NHX %	R D	LOC ZONE	FRONT	DEPTH	SIZE FACTOR	UNITS	UNIT TYPE	D T	DPTH FACT	COND FACTOR	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE	
C	1	0100	RES LD 3-7 UNITS PER AC	100.00	0.00		RLD-60	63.00	122.00	100.00	63.00	F	1	0.96	1.00	2,750.00	2,640.00	166,320

L N	DATE	BLD	USER ID	CD	PARCEL NOTES

PART OF LOTS 3 AND 4, PONDER'S REPLAT OF LOT 3, BLOCK 17, EDGEWOOD, AS RECORDED IN PLAT BOOK 9, PAGE 42 OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT AN IRON LOCATED AT THE INTERSECTION OF THE SOUTHEASTERLY LINE OF KNIGHT STREET AND THE NORTHEASTERLY LINE OF CHALLEN AVENUE; THENCE RUN SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF CHALLEN AVENUE, 63.05 FEET TO AN IRON FOR A POINT OF BEGINNING; THENCE RUN NORTHWESTERLY ALONG THE SAID NORTHEASTERLY LINE OF CHALLEN AVENUE, 63.05 FEET TO SAID IRON IN THE SOUTHEASTERLY LINE OF KNIGHT STREET; THENCE RUN NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF KNIGHT STREET, 122.00 FEET TO AN IRON; THENCE RUN SOUTHEASTERLY 62.00 FEET ALONG A LINE THAT IS PARALLEL TO THE NORTHEASTERLY LINE OF CHALLEN AVENUE TO AN IRON; THENCE RUN SOUTHWESTERLY 122.00 FEET TO THE POINT OF BEGINNING.

ADDRESS:  
3380 KNIGHT STREET  
JACKSONVILLE, FLORIDA



P.O.C. INTERSECTION OF THE SOUTHEASTERLY LINE OF KNIGHT STREET AND THE NORTHEASTERLY LINE OF CHALLEN AVENUE

PART OF LOTS 3 & 4, BLOCK 17

PART OF LOT 3 BLOCK 17

PART OF LOTS 3 & 4, BLOCK 17

**SYMBOLS & ABBREVIATIONS**

- |   |                                   |
|---|-----------------------------------|
| △ - CENTRAL ANGLE                         | IF - IRON FENCE                   |
| AC - ACRES ±                              | L - ARC LENGTH                    |
| CLF - CHAIN LINK FENCE                    | P.O.C. - POINT OF COMMENCEMENT    |
| O.R. - OFFICIAL RECORD BOOK               | P.O.B. - POINT OF BEGINNING       |
| D.B. - DEED BOOK PG. - PAGE               | R - RADIUS OR RANGE               |
| EOP - EDGE OF PAVEMENT                    | R/W - RIGHT OF WAY                |
| FCM - FOUND CONCRETE MONUMENT             | SEC. - SECTION                    |
| FIR - FOUND IRON ROD (5/8" UNLESS NOTED.) | SIR - SET 5/8" IRON ROD/CAP #6590 |
| FIRC - FOUND IRON ROD AND CAP             | SNC - SET NAIL AND CAP #6590      |
| F.I.R.M. - FLOOD INSURANCE RATE MAP       | UNREC. - UNRECORDED               |
| FIP - FOUND IRON PIPE                     | LB. - LICENSED BUSINESS           |
| FPIP - FOUND PINCHED IRON PIPE            | T - TOWNSHIP OR TANGENT           |
| FNC - FOUND NAIL AND CAP                  | VF - VINYL FENCE                  |
|   | WB - WOOD BOARD FENCE             |

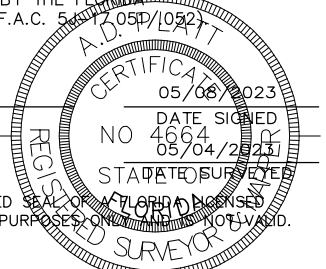
**NOTES:**

1. THERE ARE NO VISIBLE ENCROACHMENTS ON THIS PROPERTY, UNLESS SHOWN.
2. THIS SURVEYOR HAS NOT BEEN PROVIDED A CURRENT TITLE OPINION OR ABSTRACT TO THE SUBJECT PROPERTY. IT IS POSSIBLE THERE ARE OTHER DEEDS, EASEMENTS, ETC., RECORDED OR UNRECORDED THAT MAY AFFECT THE BOUNDARIES.
3. RECORD, DEED, AND COMPUTED MEASUREMENTS ARE SHOWN IN PARENTHESIS
4. THIS PROPERTY LIES IN FLOOD ZONE X, AS PER FLOOD INSURANCE MAP PANEL No. 12031C0362J, DATED 11/02/2018.
5. IT IS POSSIBLE THERE ARE OTHER DRAINAGE STUDIES DONE SINCE THE PUBLISHED DATE OF THE FLOOD INSURANCE RATE MAP PANEL, THAT MAY AFFECT FLOOD ZONE DESIGNATION, THAT THIS SURVEYOR HAS NOT BEEN PROVIDED.
6. ADJOINERS, UNLESS NOTED WERE NOT FURNISHED TO THIS SURVEYOR
7. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS WERE NOT LOCATED
8. UNLESS NOTED OTHERWISE SURVEY BEARINGS ARE BASED ON GRID NORTH, FLORIDA EAST ZONE PER N.A.D. 1983 DATUM

I HEREBY CERTIFY THAT THIS SURVEY WAS PERFORMED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND THE PLAT AND DESCRIPTION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE SURVEY MEETS OR EXCEEDS THE STANDARDS FOR PRACTICE FOR LAND SURVEYING AS ESTABLISHED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS (F.A.C. 5C 2.05D/022)

*Alan D. Platt*

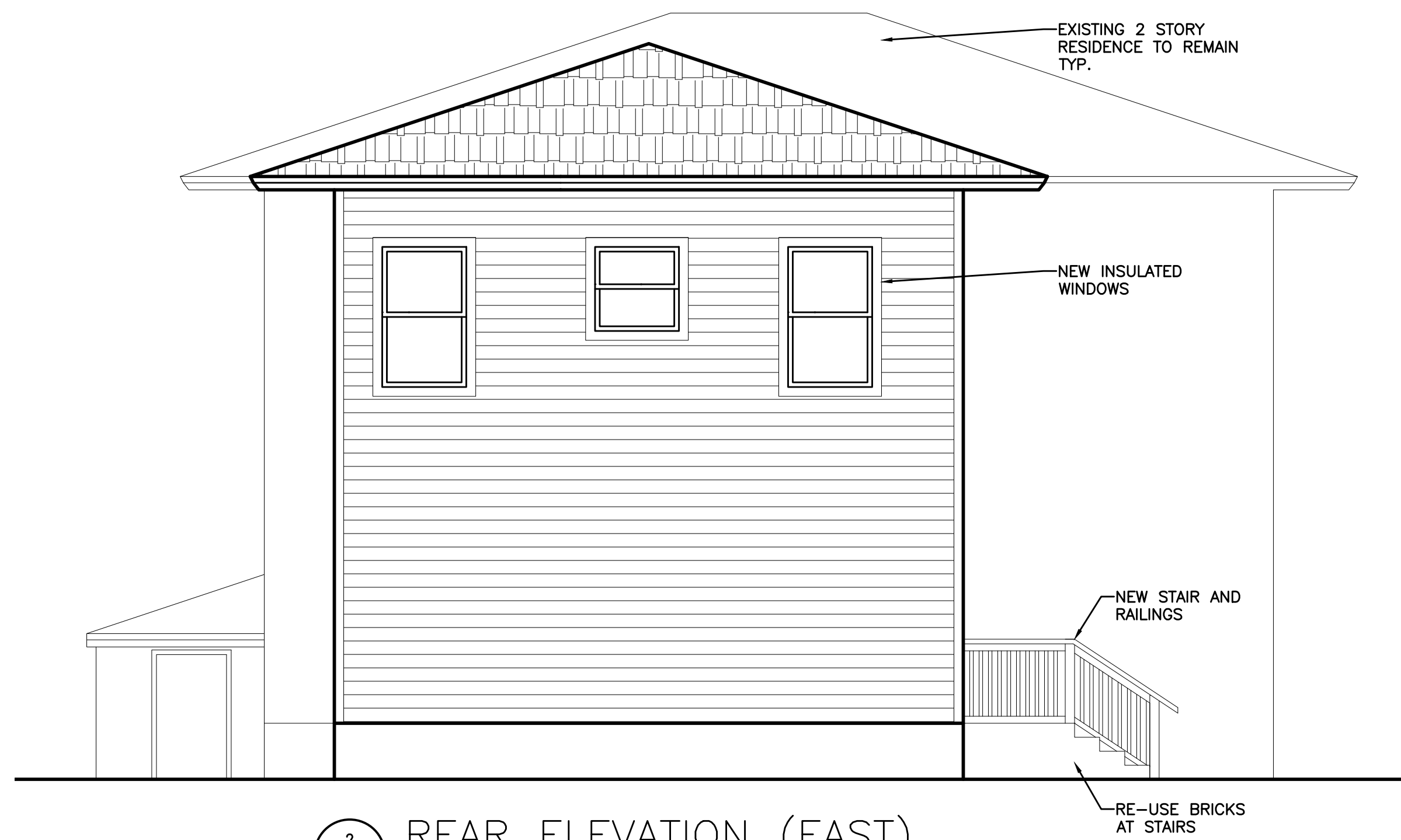
ALAN D. PLATT, P.L.S.  
PROFESSIONAL LAND SURVEYOR  
FLORIDA LICENSED No. 4664



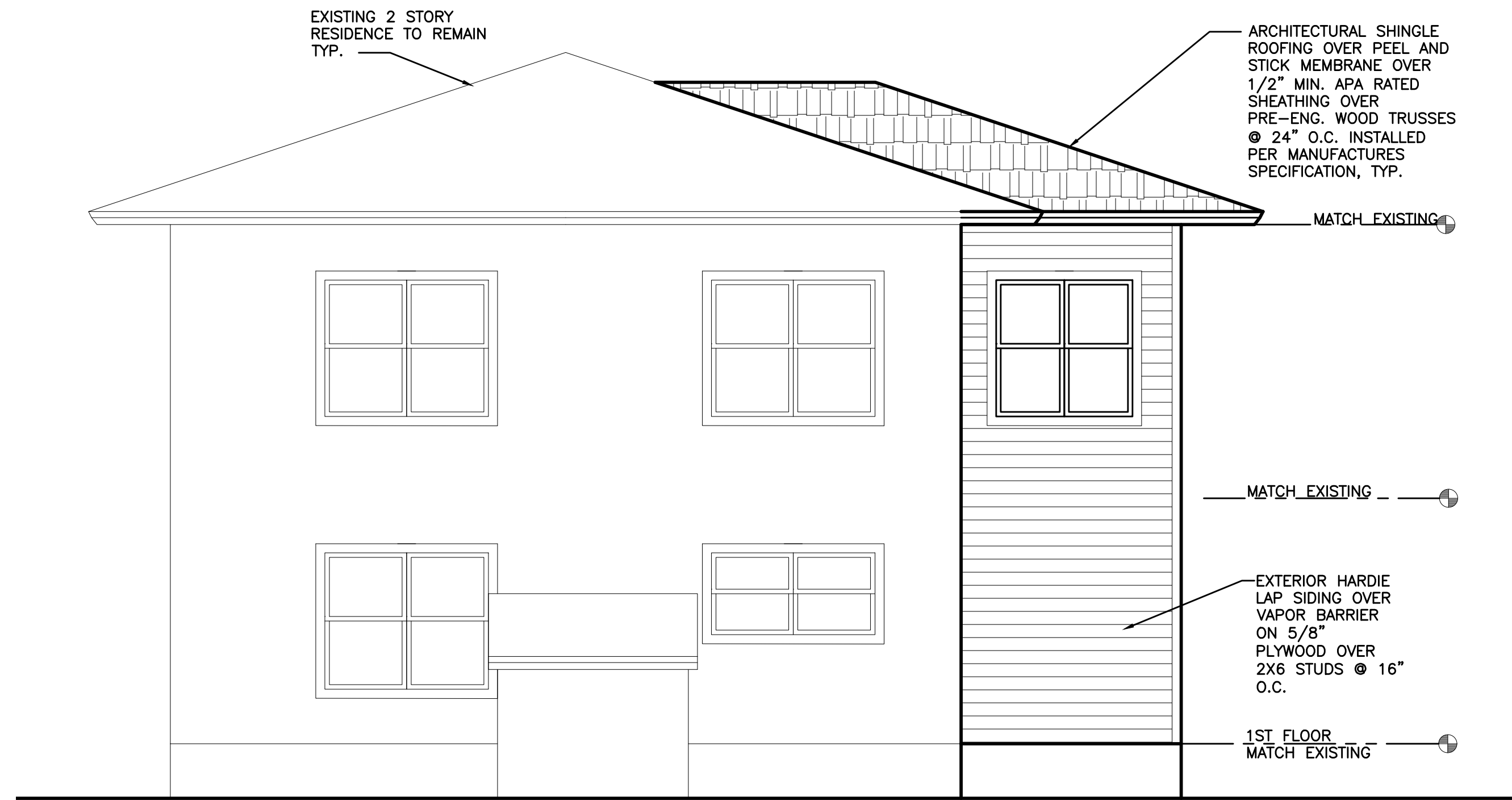
UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

SHEET 1 OF 1

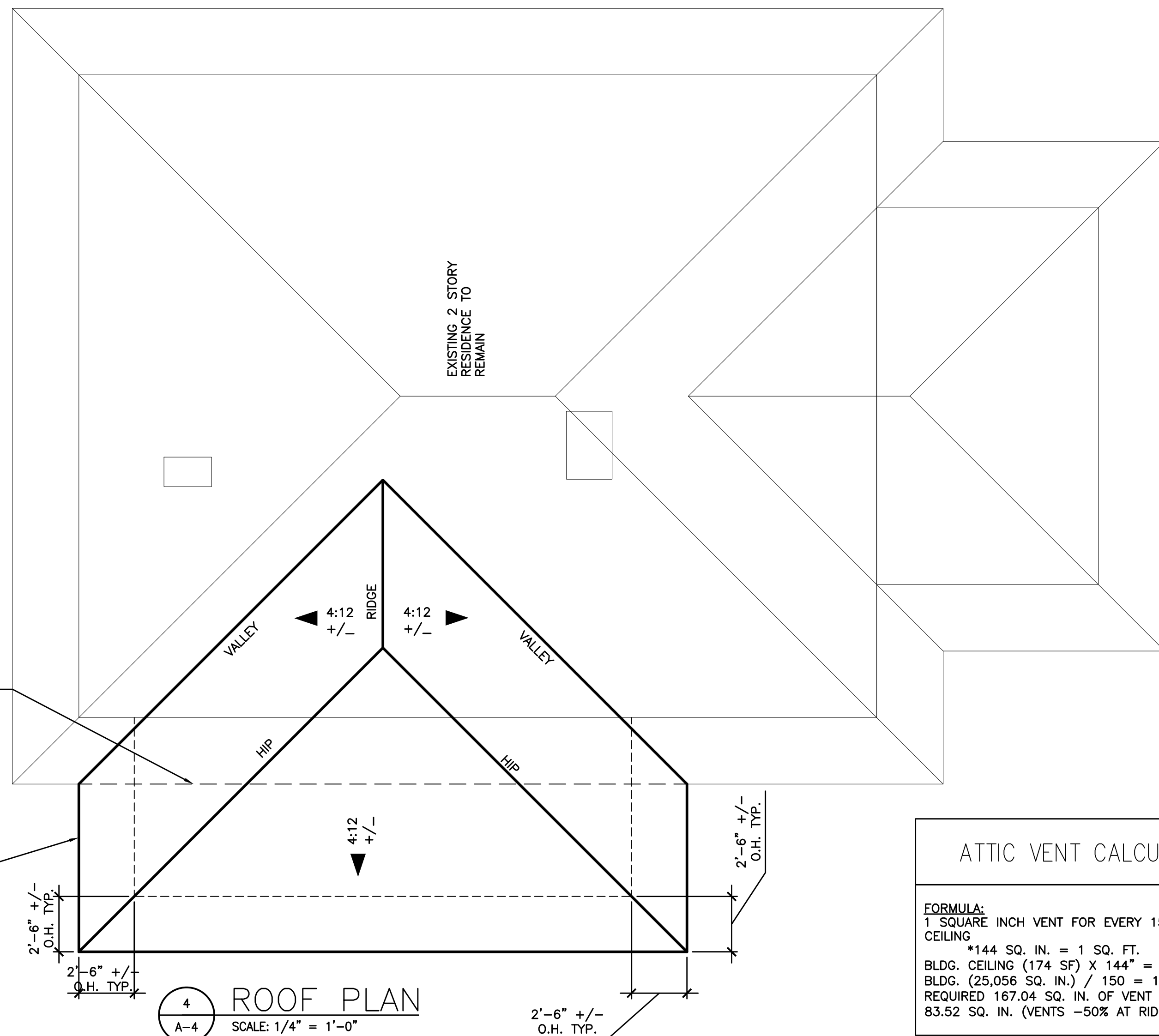
DRAWING: 26783-BS	BOUNDARY SURVEY OF: PART OF LOTS 3 & 4, BLOCK 17 PONDER'S REPLAT OF LOT THREE - EDGEWOOD	<b>A.D. Platt</b> & ASSOCIATES, INC. 5301 CORWIN DRIVE UNIT #5, TALLAHASSEE, FL. 32303 PHONE: (850) 329-5551 (904) 580-6185 LICENSED BUSINESS No. 6590	CERTIFIED TO: ALAN R. BLACKWELL JESSICA C. BLACKWELL THOMAS KENNEDY BAIRD DEBORAH ANNE HILLS GIBRALTAR TITLE SERVICES FLORIDA NETWORK REALTY TITLE RESOURCES GUARANTY COMPANY
PROJECT: 26783	PLAT BOOK 9, PAGE 42 DEED BOOK 19156, PAGES 1612-1613 DUVAL COUNTY FLORIDA		



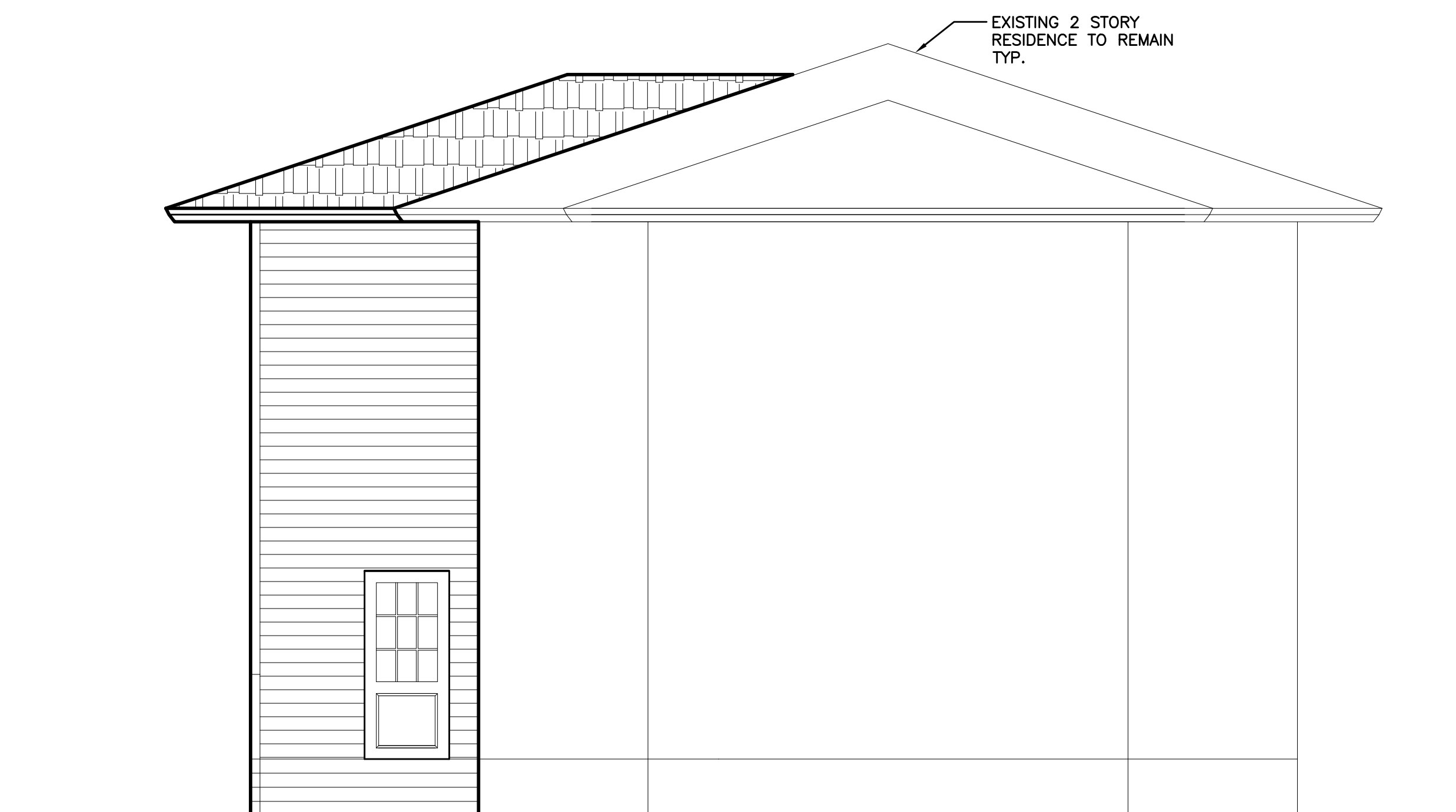
2 REAR ELEVATION (EAST)  
A-4 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION (WEST)  
A-4 SCALE: 1/4" = 1'-0"



4 ROOF PLAN  
A-4 SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION (NORTH)  
A-4 SCALE: 1/4" = 1'-0"

ATTIC VENT CALCULATION

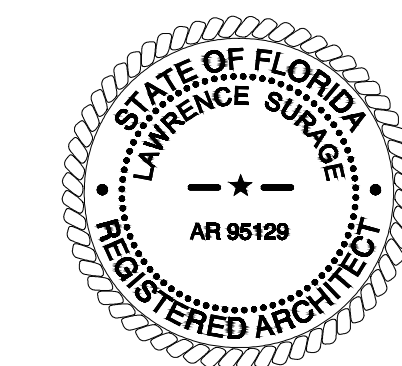
FORMULA:  
1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING  
\*144 SQ. IN. = 1 SQ. FT.  
BLDG. CEILING (174 SF) X 144" = BLDG (25,056 SQ. IN.)  
BLDG. (25,056 SQ. IN.) / 150 = 167.04 SQ. IN. OF VENT  
REQUIRED 167.04 SQ. IN. OF VENT REQUIRED / 2 =  
83.52 SQ. IN. (VENTS -50% AT RIDGE & 50% AT EAVES)



SURAGE & ASSOCIATES, LLC.  
101 MARKETSIDE AVE. SUITE 404 #380  
Ponte Vedra, Florida 32081  
904-347-1811  
www.surageandassociates.com

HILLS HOME RENOVATIONS

3380 KNIGHT ST.  
JACKSONVILLE, FL



REVISIONS

NO.	DESCRIPTION

DATE ISSUED: 8.5.2024

P24114

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-3

**COA-24-31176**

**1254 Hollywood  
Avenue**

**September 25, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-31176**

**Address:** 1254 Hollywood Avenue, RE# 079908-0000

**Location:** Southwest side of Hollywood Avenue, between Randall Street and Remington Street

**Owner:** Ben Alwood  
1254 Hollywood Avenue  
Jacksonville, Florida 32205

**Applicant:** Stephen Harper  
Dynamic Exterior Solutions LLC  
DBA Dynamic Fence  
4769 Atlanta Court  
Jacksonville, Florida 32210

**Year Built:** c. 1930 (*Property Appraiser*)

**Designation:** Riverside Avondale, Contributing

**Request:** Alteration - Fencing

**Summary Scope of Work:**

1. Replace existing 8-foot-tall fence like-for-like with new fence
2. Replace existing 6-foot-tall fence with a new wood, horizontal board-on-board cap and trim fence (*Administrative*)

**Recommendation:** **Approve with conditions**

**Conditions:**

1. The location of the fencing and shall be substantially consistent with the site plan dated **August 9, 2024**.
2. The eight (8) foot tall fencing shall be wood with a six (6) foot tall vertical board-on-board and two (2) foot tall lattice design.
3. The six (6) foot tall fencing, located behind the front wall plane of the left side of the home, shall be wood with a six (6) foot tall vertical board-on-board design.
4. The six (6) foot tall fencing, located in the backyard along the interior side of the detached accessory structure, shall be wood with a six (6) foot tall vertical or horizontal board-on-board design.





### **PROJECT DESCRIPTION**

COA-24-31176 seeks to replace an existing eight (8) foot tall, wood board-on-board and lattice fence on a contributing property located in the Riverside Avondale Historic District. The subject property is an interior lot. The proposed eight (8) foot tall fence will match the existing eight (8) foot tall fence in material, design, and location on the rear and left side property lines. The adjacent neighboring property (1260 Hollywood Avenue; RE: 079907-0000) has an existing portion of an eight (8) foot tall, wood board-on-board and lattice fence on the property line—which is at the right-side property line of the subject property.

The application also includes replacing an existing six (6) foot tall, wood vertical board-on-board fencing with a new six (6) foot tall wood fence in a horizontal board-on-board or a vertical board-on-board design. The existing six (6) foot tall fencing is located behind the front wall plane of the left side of the home and in the backyard along the detached accessory structure. Pursuant to the authority granted to Staff through the 2024 COA Matrix, Staff has the ability to approve new fencing that is consistent with the Fencing Design Guidelines— which includes non-street visible horizontal wood fencing that is six (6) feet tall behind the front wall plane, and street visible vertical wood fencing. In accordance, the proposed six (6) foot tall fencing has been conditioned by Staff.

Pursuant to the authority granted through the 2024 COA Matrix, the proposed eight (8) foot tall fencing must be reviewed and approved by the Jacksonville Historic Preservation Commission, which this report focuses on.

### **STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Riverside Avondale Historic District and the Ordinance Code criteria found in Sections 307.106(k) and 307.106(l). The following is Staff's analysis:

- The replacement of an eight (8) foot tall, wood board-on-board and lattice fence with a matching fence does not change the relationship of the subject structures or site to the surrounding area and does not negatively impact the subject structures. The eight (8) foot tall fence will be in the same location as the existing eight (8) foot tall fence which is behind the front wall plane of the home, along the left and rear property lines. The proposed fence will also match the existing fence in materials and design. Additionally, the new eight (8) foot tall fence does not block any significant architectural features. As such, the proposed work is consistent with Sections 307.106(k)(1 and 2) and 307.106(l)(1).
- Staff internally coordinated with the Current Planning Division and the requested eight (8) foot tall fence adheres to the Zoning Code.

For these reasons, it is the position of the Planning and Development Department that the proposed work under the stated conditions is consistent with:

- Section 307.106(k) General Standards: 1 and 2
- Section 307.106(l) Guidelines on "Alterations": 1

### **CODE CRITERIA AND DESIGN GUIDELINES**

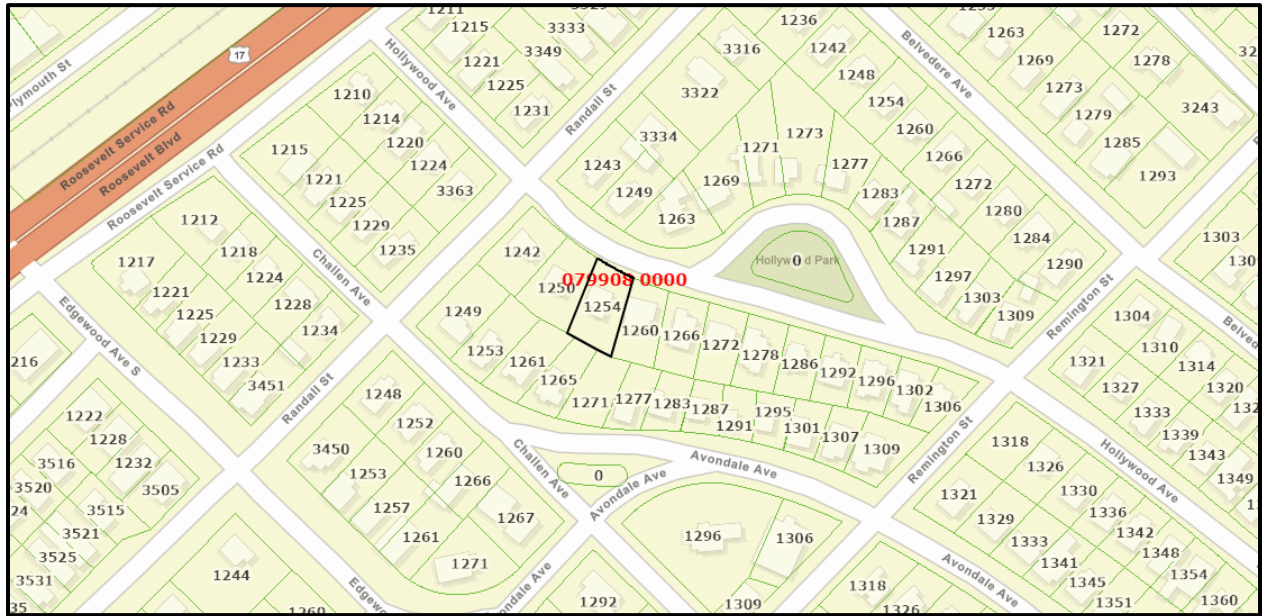
#### **General Criteria**

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;

#### **Alterations**

- 307.106(l)(1) - Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building structure, or site.

**LOCATION MAP**





**PICTURE OF SUBJECT PROPERTY WITH POSTED SIGN**

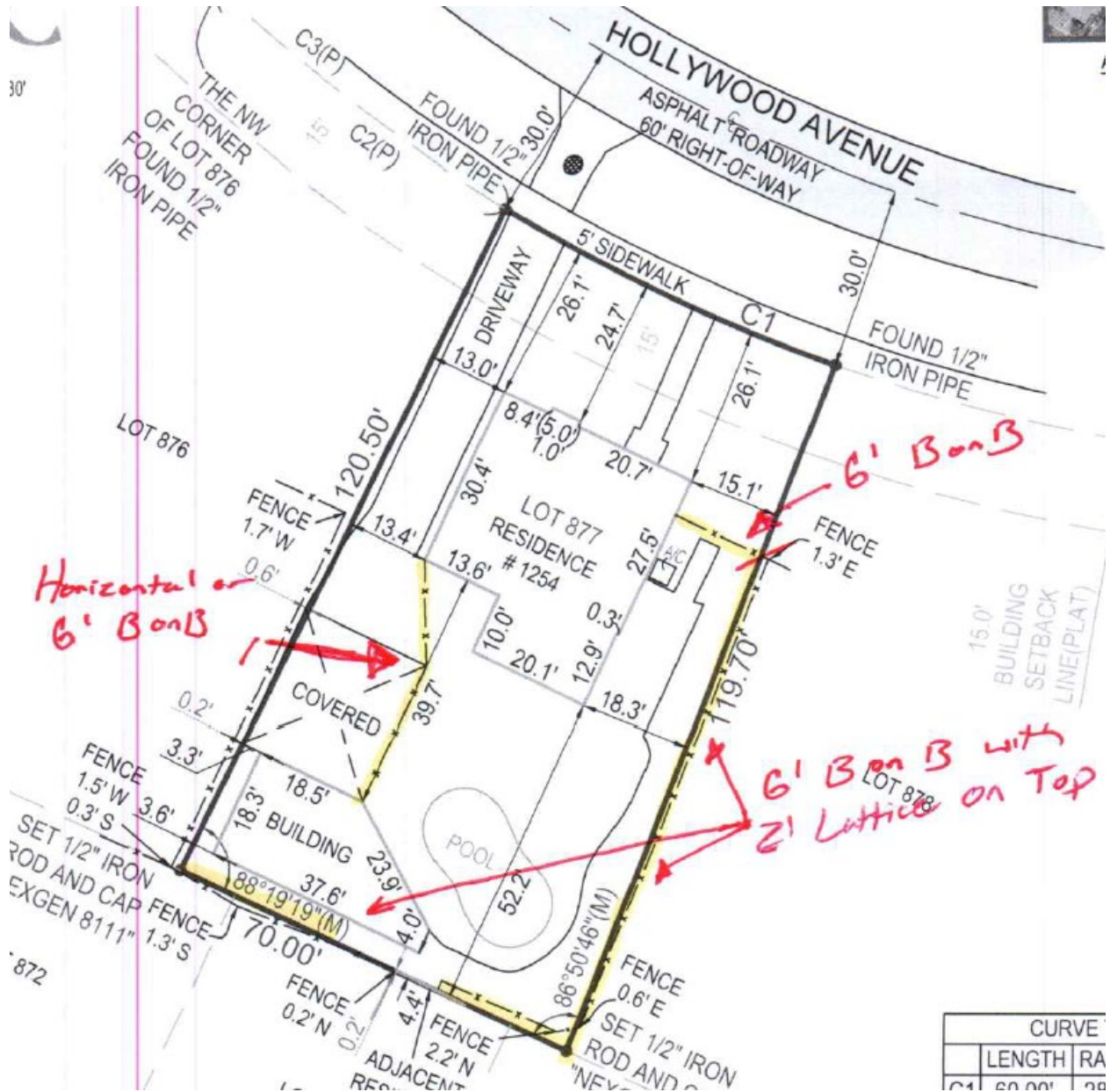




**PROPOSED FENCE DESIGN**



SITE PLAN DATED AUGUST 9, 2024



# Application For Certificate Of Appropriateness

## Application Info

<b>Tracking #</b>	31176	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	08/09/2024	<b>Date Submitted</b>	08/09/2024

## Planning and Development Department Info

<b>COA #</b>	COA-24-31176
<b>Admin Review</b>	<input checked="" type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	8/30/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	9/25/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

## General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
HARPER	STEPHEN	V
<b>Company Name</b>		
DYNAMIC FENCE LLC		
<b>Mailing Address</b>		
4769 ATLANTA CT		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32210
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 210 7133		DYNAMICFENCELLC@GMAIL.COM

## General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
ALWOOD	BEN	
<b>Company/Trust Name</b>		
<b>Mailing Address</b>		
1254 HOLLYWOOD AVE		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
7723414070		BENALWOOD@GMAIL.COM

## Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map

RE#

079908 0000

### Location Of Property

#### General Location

Riverside/Avondale Historic District

#### House #

1254

#### Street Name, Type and Direction

HOLLYWOOD AVE

#### Zip Code

32205

### Type Of Improvement

- Addition    Driveway    New Construction    Accessory Structures  
 Alteration    Relocation    Window Replacement    Other  
 Fencing    Demolition    Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.  
(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

#### Proposed Work

DEMO AND REINSTALL A NEW 8 FENCE, 6 BOARD ON BOARD WITH 2 LATTICE ON TOP

### Addition Information

**Is this a violation?** Check the box if it is.

**If you have been working with a planner** choose one from the list

### Fencing - Required Attachments For Complete Application

- Site Plan** - Site plan/survey with fence placement.  
 **Fence Height, Design, And Materials** - Please provide an example of the style of fence you would like to install. You may add the height and fence material to the description area in Step 2 under "Proposed Work".  
 **Photos Of Property**

### Additional Documents Provided

### Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.




Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of property will prompt the removal of all exemptions, assessment caps and special classifications.

**ALWOOD BENJAMIN TED**   
 1254 HOLLYWOOD AVE  
 JACKSONVILLE, FL 32205  
**ALWOOD EMILY CLAIRE**

**Primary Site Address**  
 1254 HOLLYWOOD AVE  
 Jacksonville FL 32205-

**Official Record Book/Page**  
 20678-02203

**Tile #**  
 6421

**1254 HOLLYWOOD AVE**

Property Detail

<b>RE #</b>	079908-0000
<b>Tax District</b>	USD1
<b>Property Use</b>	0100 Single Family
<b># of Buildings</b>	1
<b>Legal Desc.</b>	For full legal description see Land & Legal section below
<b>Subdivision</b>	01373 AVONDALE NORTH
<b>Total Area</b>	8101
<b>Characteristics</b>	<a href="#">Historic Designation</a>

Value Summary

Value Description	2023 Certified	2024 In Progress
<b>Value Method</b>	CAMA	CAMA
<b>Total Building Value</b>	\$397,884.00	\$454,652.00
<b>Extra Feature Value</b>	\$23,014.00	\$21,647.00
<b>Land Value (Market)</b>	\$171,600.00	\$171,600.00
<b>Land Value (Agric.)</b>	\$0.00	\$0.00
<b>Just (Market) Value</b>	\$592,498.00	\$647,899.00
<b>Assessed Value</b>	\$529,556.00	\$647,899.00
<b>Cap Diff/Portability Amt</b>	\$62,942.00 / \$0.00	\$0.00 / \$0.00
<b>Exemptions</b>	\$0.00	See below
<b>Taxable Value</b>	\$529,556.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification [Learn how the Property Appraiser's Office values property.](#)

**Taxable Values and Exemptions – In Progress** 

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value		SJRWMD/FIND Taxable Value		School Taxable Value	
Assessed Value	\$647,899.00	Assessed Value	\$647,899.00	Assessed Value	\$647,899.00
Homestead (HX)	- \$25,000.00	Homestead (HX)	- \$25,000.00	Homestead (HX)	- \$25,000.00
Homestead Banding 196.031(1)(b) (HB)	- \$25,000.00	Homestead Banding 196.031(1)(b) (HB)	- \$25,000.00		
<b>Taxable Value</b>	<b>\$597,899.00</b>	<b>Taxable Value</b>	<b>\$597,899.00</b>	<b>Taxable Value</b>	<b>\$622,899.00</b>

**Sales History** 

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
<a href="#">20678-02203</a>	5/9/2023	\$700,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">19240-00905</a>	6/3/2020	\$506,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">18868-00066</a>	7/15/2019	\$100.00	MS - Miscellaneous	Unqualified	Improved
<a href="#">09800-01966</a>	11/7/2000	\$150,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">09784-02424</a>	10/27/2000	\$100.00	MS - Miscellaneous	Unqualified	Improved
<a href="#">00712-00431</a>	1/1/1899	\$0.00	- Unknown	Unqualified	Improved

**Extra Features** 

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	FPMR7	Fireplace Masonry	1	0	0	1.00	\$1,540.00
2	GRWR2	Garage/Util Bdg Wood	1	18	18	324.00	\$2,459.00
3	POLR3	Pool	1	0	0	1.00	\$11,900.00
4	SCPR2	Screen Porch	1	0	0	250.00	\$3,310.00
5	CPAR2	Carport Aluminum	1	22	20	440.00	\$2,438.00

**Land & Legal** 

Land										Legal	
LN	Code	Use Description	Zoning Assessment	Front	Depth	Category	Land Units	Land Type	Land Value	LN	Legal Description
1	0100	RES LD 3-7 UNITS PER AC	RLD-60	65.00	120.00	Common	65.00	Front Footage	\$171,600.00	1	7-31 43-2S-26E
										2	AVONDALE
										3	LOT 877

**Buildings** 

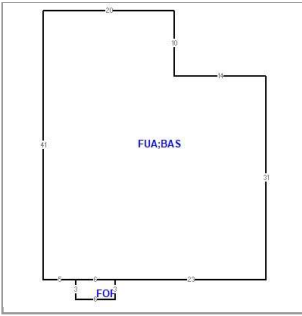
**Building 1**

Building 1 Site Address  
1254 HOLLYWOOD AVE Unit  
Jacksonville FL 32205-

<b>Building Type</b>	0108 - SFR CLASS 2
<b>Year Built</b>	1930
<b>Building Value</b>	\$454,652.00

Type	Gross Area	Heated Area	Effective Area
Finished upper story 1	1254	1254	1191
Base Area	1254	1254	1254
Finished Open Porch	18	0	5
<b>Total</b>	<b>2526</b>	<b>2508</b>	<b>2450</b>

Element	Code	Detail
Exterior Wall	20	20 Face Brick
Roof Struct	3	3 Gable or Hip
Roofing Cover	3	3 Asph/Comp Shng
Interior Wall	3	3 Plastered
Interior Wall	5	5 Drywall
Int Flooring	12	12 Hardwood
Int Flooring	11	11 Cer Clay Tile
Heating Fuel	4	4 Electric
Heating Type	4	4 Forced-Ducted
Air Cond	3	3 Central



Element	Code	Detail
Stories	2.000	
Bedrooms	4.000	
Baths	3.000	
Rooms / Units	1.000	

**2024 Notice of Proposed Property Taxes Notice (TRIM Notice)**

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
County	\$647,899.00	\$0.00	\$647,899.00	\$5,992.93	\$7,332.21	\$7,100.97
Urban Service Dist1	\$647,899.00	\$0.00	\$647,899.00	\$0.00	\$0.00	\$0.00
Public Schools: By State Law	\$647,899.00	\$0.00	\$647,899.00	\$1,885.92	\$2,003.30	\$2,040.23
By Local Board	\$647,899.00	\$0.00	\$647,899.00	\$1,331.94	\$1,456.48	\$1,434.06
FL Inland Navigation Dist.	\$647,899.00	\$0.00	\$647,899.00	\$15.25	\$18.66	\$17.23
Water Mgmt Dist. SJRWMD	\$647,899.00	\$0.00	\$647,899.00	\$94.95	\$116.17	\$109.24
School Board Voted	\$647,899.00	\$0.00	\$647,899.00	\$592.50	\$647.90	\$647.90
Urb Ser Dist1 Voted	\$647,899.00	\$0.00	\$647,899.00	\$0.00	\$0.00	\$0.00
			<b>Totals</b>	<b>\$9,913.49</b>	<b>\$11,574.72</b>	<b>\$11,349.63</b>

Description	Just Value	Assessed Value	Exemptions	Taxable Value
<b>Last Year</b>	\$592,498.00	\$529,556.00	\$0.00	\$529,556.00
<b>Current Year</b>	\$647,899.00	\$647,899.00	\$0.00	\$647,899.00

**2024 TRIM Property Record Card (PRC)**

This PRC reflects property details and values at the time of the original mailing of the Notices of Proposed Property Taxes (TRIM Notices) in August.

**Property Record Card (PRC)**

The PRC accessed below reflects property details and values at the time of Tax Roll Certification in October of the year listed.

- [2023](#)
- [2022](#)
- [2021](#)
- [2020](#)
- [2019](#)
- [2018](#)
- [2017](#)
- [2016](#)
- [2015](#)
- [2014](#)

• To obtain a historic Property Record Card (PRC) from the Property Appraiser's Office, submit your request here: 

**More Information**

[Contact Us](#) | [Parcel Tax Record](#) | [GIS Map](#) | [Map this property on Google Maps](#) | [City Fees Record](#)



# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY. ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: September 3 2024

COA#: 24 - 31176

Address: 1254 Hollywood Ave  
Jacksonville FL 32205

Owner: Emily + Ben Alwood

As required by Sec. 307.106(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application 24-31176 were posted on the property/site located at:

079908-0000  
Real Estate Number(s)

1254 Hollywood Ave  
Street Address

Jacksonville FL 32205  
City, State Zip Code

Printed Name Stephen Harper

Signature [Handwritten Signature]

Dated this 3 day of September, 2024.





[Previous on List](#) . [Next on List](#) . [Return to List](#)

Fictitious Name Search

No Filing History

Submit

## Fictitious Name Detail

### Fictitious Name

DYNAMIC FENCE

### Filing Information

**Registration Number** G22000011243  
**Status** ACTIVE  
**Filed Date** 01/26/2022  
**Expiration Date** 12/31/2027  
**Current Owners** 1  
**County** DUVAL  
**Total Pages** 1  
**Events Filed** NONE  
**FEI/EIN Number** 84-1971572

### Mailing Address

4769 ATLANTA CT.  
 JACKSONVILLE, FL 32210

### Owner Information

DYNAMIC EXTERIOR SOLUTIONS LLC  
 4769 ATLANTA CT.  
 JACKSONVILLE, FL 32210  
**FEI/EIN Number:** 84-1971572  
**Document Number:** L19000137655

### Document Images

[01/26/2022 -- Fictitious Name Filing](#)

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Fictitious Name Search

No Filing History

Submit



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
DYNAMIC EXTERIOR SOLUTIONS LLC

### Filing Information

<b>Document Number</b>	L19000137655
<b>FEI/EIN Number</b>	84-1971572
<b>Date Filed</b>	05/22/2019
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	REINSTATEMENT
<b>Event Date Filed</b>	11/11/2022

### Principal Address

4769 ATLANTA CT.  
JACKSONVILLE, FL 32210

### Mailing Address

4769 ATLANTA CT.  
JACKSONVILLE, FL 32210

### Registered Agent Name & Address

UNITED STATES CORPORATION AGENTS, INC.  
476 RIVERSIDE AVE.  
JACKSONVILLE, FL 32202

Name Changed: 11/11/2022

Address Changed: 02/02/2023

### Authorized Person(s) Detail

#### **Name & Address**

Title AMBR

HARPER, STEPHEN  
4769 ATLANTA CT.  
JACKSONVILLE, FL 32210

### Annual Reports

<b>Report Year</b>	<b>Filed Date</b>
2022	11/11/2022

2023 01/24/2023  
2024 04/11/2024

**Document Images**

[04/11/2024 -- ANNUAL REPORT](#)

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[01/24/2023 -- ANNUAL REPORT](#)

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[11/11/2022 -- REINSTATEMENT](#)

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[05/28/2021 -- REINSTATEMENT](#)

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[05/22/2019 -- Florida Limited Liability](#)

View image in PDF format



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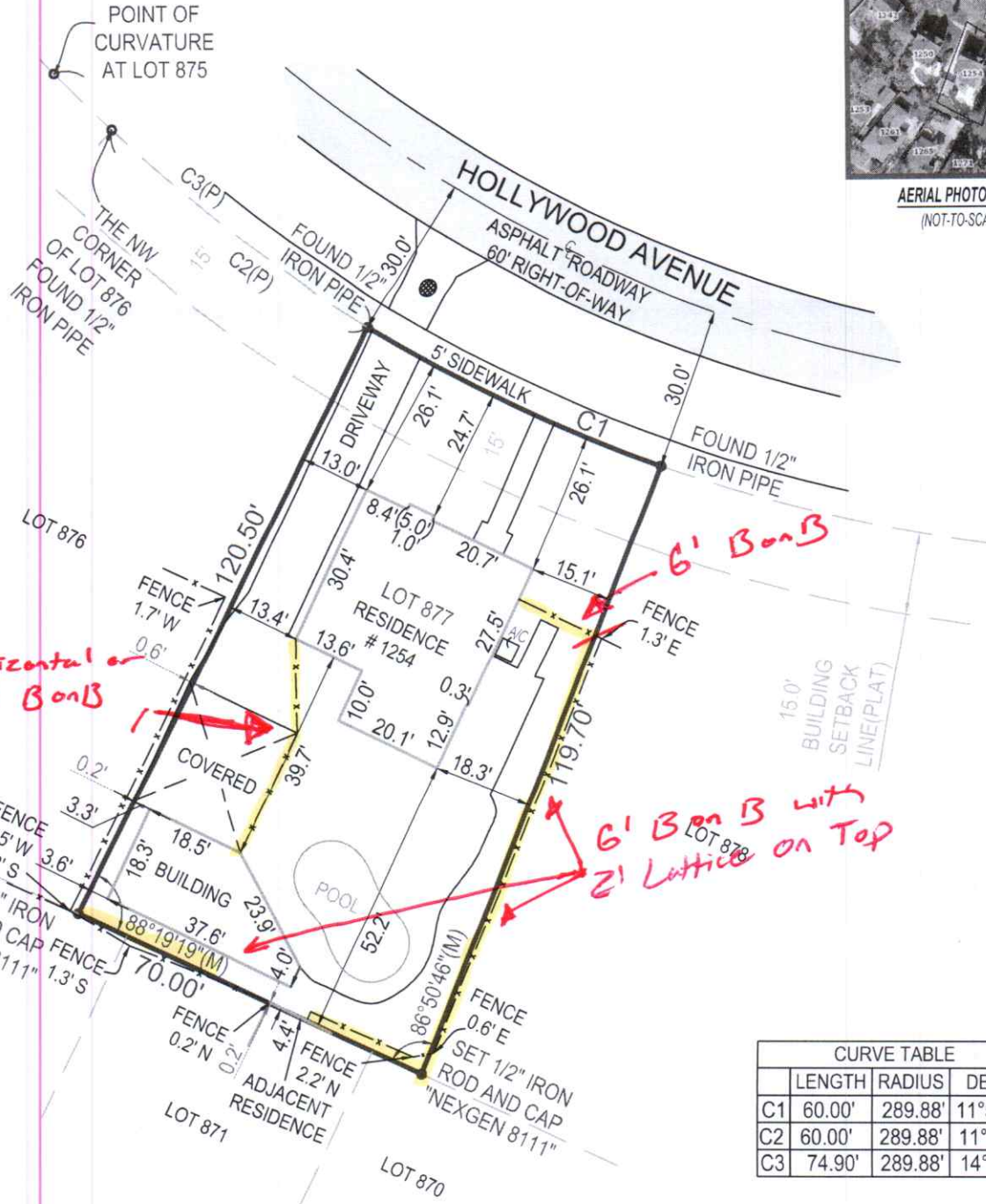
# 1254 HOLLYWOOD AVENUE, JACKSONVILLE, FL. 32205



SCALE: 1"=30'



AERIAL PHOTOGRAPH  
(NOT-TO-SCALE)



CURVE TABLE			
	LENGTH	RADIUS	DELTA
C1	60.00'	289.88'	11°51'33"
C2	60.00'	289.88'	11°51'33"
C3	74.90'	289.88'	14°48'15"

- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

The survey map & report or the copies thereof are not valid without the digital signature and seal of a Florida licensed surveyor and mapper

Date of Field Work : 03-28-2023  
 Drawn By: Oleg  
 Order #: 209855  
 Last Revision Date: None  
 Boundary Survey prepared by: LB8111  
 NexGen Surveying, LLC  
 561-508-6272  
 1547 Prosperity Farms Rd  
 West Palm Beach, FL 33403









**COA-24-31177**

**1260 Hollywood  
Avenue**

**September 25, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-31177**

**Address:** 1260 Hollywood Avenue, RE# 079909-0000

**Location:** Southwest side of Hollywood Avenue, between Randall Street and Remington Street

**Owner:** Keith Walters  
1260 Hollywood Avenue  
Jacksonville, Florida 32205

**Applicant:** Stephen Harper  
Dynamic Exterior Solutions LLC  
DBA Dynamic Fence  
4769 Atlanta Court  
Jacksonville, Florida 32210

**Year Built:** c. 1923 (*Property Appraiser*)

**Designation:** Riverside Avondale, Contributing

**Request:** Alteration - Fencing

**Summary Scope of Work:**

1. Replace existing 8-foot-tall fence like-for-like with new fence
2. Replace existing 6-foot-tall fence like-for-like with a new fence (*Administrative*)
3. Replace existing 6-foot-tall gate with a new 4-foot-tall aluminum rail gate (*Administrative*)

**Recommendation:** **Approve with conditions**

**Conditions:**

1. The location of the fencing and shall be substantially consistent with the site plan dated **August 16, 2024**.
2. The eight (8) foot tall fencing shall be wood with a six (6) foot tall vertical board-on-board and two (2) foot tall lattice design.
3. The six (6) foot tall fencing located on the left property line shall be wood with a six (6) foot tall vertical board-on-board design.
4. The four (4) foot tall gate, located behind the front wall plane of the left side of the home, shall be aluminum rail.





### **PROJECT DESCRIPTION**

COA-24-31177 seeks to replace an existing eight (8) foot tall, wood board-on-board and lattice fence on a contributing property located in the Riverside Avondale Historic District. The subject property is an interior lot and currently has eight (8) foot tall, wood board-on-board and lattice fencing on the right side, rear, and left side property lines, as well as a portion located at the front wall plane of the right side of the home. The applicant proposes to only replace the rear property line eight (8) foot tall fence with a matching eight (8) foot tall fence in material, design, and location.

The application also includes replacing an existing six (6) foot tall, wood vertical board-on-board double gate with a new four (4) foot tall aluminum rail double gate. This gate is located behind the front wall plane of the left side of the home. Additionally, the applicant proposes to replace an existing six (6) foot tall, wood vertical board-on-board fence on the left property line with a new fence to match it. Pursuant to the authority granted to Staff through the 2024 COA Matrix, Staff has the ability to approve new fencing and gates that are consistent with the Fencing Design Guidelines— which includes both four (4) foot tall aluminum rail gates and six (6) foot tall wood vertical board-on-board fencing behind the front wall plane. In accordance, the proposed four (4) foot tall gate and six (6) foot tall fencing has been conditioned by Staff.

Pursuant to the authority granted through the 2024 COA Matrix, the proposed eight (8) foot tall fencing must be reviewed and approved by the Jacksonville Historic Preservation Commission, which this report focuses on.

### **STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Riverside Avondale Historic District and the Ordinance Code criteria found in Sections 307.106(k) and 307.106(l). The following is Staff's analysis:

- The replacement of an eight (8) foot tall, wood board-on-board and lattice fence with a matching fence does not change the relationship of the subject structures or site to the surrounding area and does not negatively impact the subject structures. The eight (8) foot tall fence will be in the same location as the existing eight (8) foot tall fence which is on the rear property line. The proposed fence will also match the existing fence in materials and design. Additionally, the new eight (8) foot tall fence does not block any significant architectural features. As such, the proposed work is consistent with Sections 307.106(k)(1 and 2) and 307.106(l)(1).
- Staff internally coordinated with the Current Planning Division and the requested eight (8) foot tall fence adheres to the Zoning Code.

For these reasons, it is the position of the Planning and Development Department that the proposed work under the stated conditions is consistent with:

- Section 307.106(k) General Standards: 1 and 2
- Section 307.106(l) Guidelines on "Alterations": 1

### **CODE CRITERIA AND DESIGN GUIDELINES**

#### **General Criteria**

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;

#### **Alterations**

- 307.106(l)(1) - Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building structure, or site.



**LOCATION MAP**



PICTURE OF SUBJECT PROPERTY WITH POSTED SIGN

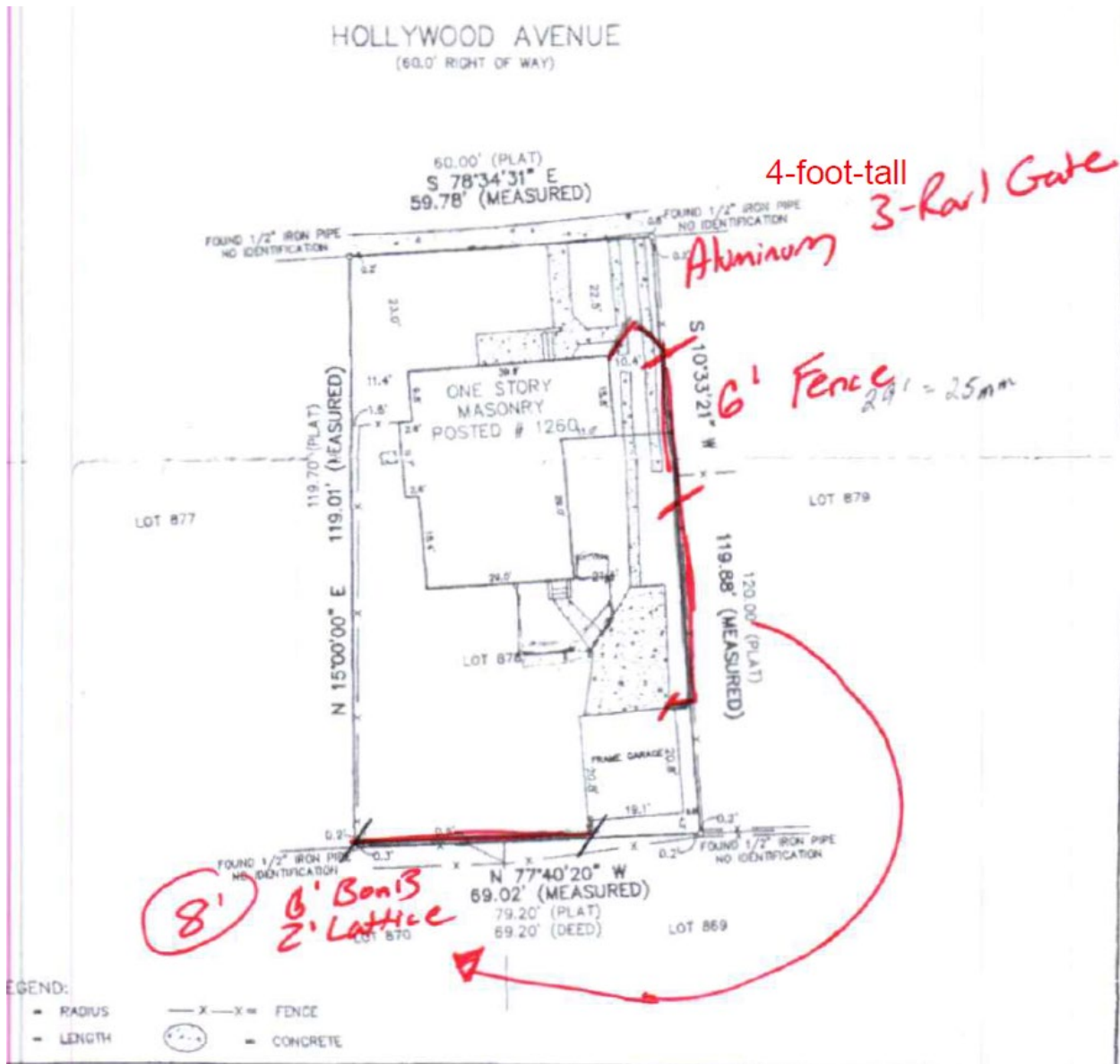




**PROPOSED FENCE DESIGN**



SITE PLAN DATED AUGUST 16, 2024





## Application For Certificate Of Appropriateness

### Application Info

<b>Tracking #</b>	31177	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	08/09/2024	<b>Date Submitted</b>	08/09/2024

### Planning and Development Department Info

<b>COA #</b>	COA-24-31177
<b>Admin Review</b>	<input checked="" type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	8/30/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	9/25/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

### General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
HARPER	STEPHEN	V
<b>Company Name</b>		
DYNAMIC FENCE LLC		
<b>Mailing Address</b>		
4769 ATLANTA CT		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32210
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 210 7133		DYNAMICFENCELLC@GMAIL.COM

### General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
WALTERS	KEITH	
<b>Company/Trust Name</b>		
<b>Mailing Address</b>		
1260 HOLYWOOD AVE		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
9046149440		KM.WALTERS@OUTLOOK.COM

### Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map	RE#
	079909 0000

--	--

### Location Of Property

#### General Location

Riverside/Avondale Historic District

#### House #

1260

#### Street Name, Type and Direction

HOLLYWOOD AVE

#### Zip Code

32205

### Type Of Improvement

- Addition     Driveway     New Construction     Accessory Structures  
 Alteration     Relocation     Window Replacement     Other  
 Fencing     Demolition     Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.

(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

#### Proposed Work

DEMO AND INSTALLING NEW FENCE 6 BOARD ON BOARD WITH 2 LATTICE ON TOP. ALUMINUM DRIVEWAY GATE

### Addition Information

Is this a violation? Check the box if it is.

If you have been working with a planner choose one from the list

### Fencing - Required Attachments For Complete Application

- Site Plan** - Site plan/survey with fence placement.  
 **Fence Height, Design, And Materials** - Please provide an example of the style of fence you would like to install. You may add the height and fence material to the description area in Step 2 under "Proposed Work".  
 **Photos Of Property**

### Additional Documents Provided

	Description
<input checked="" type="checkbox"/>	3-RAIL DOUBLE GATE

### Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be



complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of property will prompt the removal of all exemptions, assessment caps and special classifications.

**WALTERS KEITH MICHAEL ET AL**   
 1260 HOLLYWOOD AVE  
 JACKSONVILLE, FL 32205  
**NGUYEN TUAN R/S**

**Primary Site Address**  
 1260 HOLLYWOOD AVE  
 Jacksonville FL 32205-

**Official Record Book/Page**  
 19609-01376

**Tile #**  
 6421

**1260 HOLLYWOOD AVE**

Property Detail

<b>RE #</b>	079909-0000
<b>Tax District</b>	USD1
<b>Property Use</b>	0100 Single Family
<b># of Buildings</b>	1
<b>Legal Desc.</b>	For full legal description see Land & Legal section below
<b>Subdivision</b>	01373 AVONDALE NORTH
<b>Total Area</b>	7409
<b>Characteristics</b>	<a href="#">Historic Designation</a>

Value Summary

Value Description	2023 Certified	2024 In Progress
<b>Value Method</b>	CAMA	CAMA
<b>Total Building Value</b>	\$189,632.00	\$215,529.00
<b>Extra Feature Value</b>	\$4,202.00	\$4,108.00
<b>Land Value (Market)</b>	\$184,800.00	\$184,800.00
<b>Land Value (Agric.)</b>	\$0.00	\$0.00
<b>Just (Market) Value</b>	\$378,634.00	\$404,437.00
<b>Assessed Value</b>	\$355,690.00	\$366,360.00
<b>Cap Diff/Portability Amt</b>	\$22,944.00 / \$0.00	\$38,077.00 / \$0.00
<b>Exemptions</b>	\$50,000.00	See below
<b>Taxable Value</b>	\$305,690.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification [Learn how the Property Appraiser's Office values property.](#)

**Taxable Values and Exemptions – In Progress** 

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value		SJRWMD/FIND Taxable Value		School Taxable Value	
Assessed Value	\$366,360.00	Assessed Value	\$366,360.00	Assessed Value	\$366,360.00
Homestead (HX)	- \$25,000.00	Homestead (HX)	- \$25,000.00	Homestead (HX)	- \$25,000.00
Homestead Banding 196.031(1)(b) (HB)	- \$25,000.00	Homestead Banding 196.031(1)(b) (HB)	- \$25,000.00		
<b>Taxable Value</b>	<b>\$316,360.00</b>	<b>Taxable Value</b>	<b>\$316,360.00</b>	<b>Taxable Value</b>	<b>\$341,360.00</b>

**Sales History** 

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
<a href="#">19609-01376</a>	2/19/2021	\$342,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">09423-00361</a>	9/17/1999	\$133,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">07074-01387</a>	3/14/1991	\$65,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">07074-01386</a>	2/27/1991	\$100.00	QC - Quit Claim	Unqualified	Improved
<a href="#">05832-00147</a>	7/25/1984	\$100.00	QC - Quit Claim	Unqualified	Improved

**Extra Features** 

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	DKWR2	Deck Wooden	1	14	16	224.00	\$1,380.00
2	FPMR7	Fireplace Masonry	1	0	0	2.00	\$2,111.00
3	FMAR7	FP Masonry Addt	1	0	0	1.00	\$617.00

**Land & Legal** 

Land

LN	Code	Use Description	Zoning Assessment	Front	Depth	Category	Land Units	Land Type	Land Value
1	0100	RES LD 3-7 UNITS PER AC	RLD-60	70.00	120.00	Common	70.00	Front Footage	\$184,800.00

Legal

LN	Legal Description
1	7-31 43-2S-26E
2	AVONDALE
3	LOT 878

**Buildings** 

Building 1  
 Building 1 Site Address

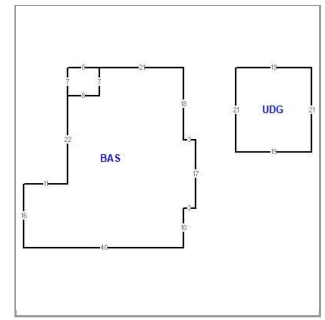


1260 HOLLYWOOD AVE Unit  
Jacksonville FL 32205-

<b>Building Type</b>	0101 - SFR 1 STORY
<b>Year Built</b>	1923
<b>Building Value</b>	\$215,529.00

Type	Gross Area	Heated Area	Effective Area
Unfin Det Garage	399	0	200
Base Area	1476	1476	1476
Addition	56	56	50
Total	1931	1532	1726

Element	Code	Detail
Exterior Wall	20	20 Face Brick
Roof Struct	3	3 Gable or Hip
Roofing Cover	3	3 Asph/Comp Shng
Interior Wall	3	3 Plastered
Int Flooring	12	12 Hardwood
Int Flooring	11	11 Cer Clay Tile
Heating Fuel	4	4 Electric
Heating Type	4	4 Forced-Ducted
Air Cond	3	3 Central



Element	Code	Detail
Stories	1.000	
Bedrooms	2.000	
Baths	1.000	
Rooms / Units	1.000	

**2024 Notice of Proposed Property Taxes Notice (TRIM Notice)**

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
County	\$366,360.00	\$50,000.00	\$316,360.00	\$3,459.46	\$3,580.21	\$3,467.31
Urban Service Dist1	\$366,360.00	\$50,000.00	\$316,360.00	\$0.00	\$0.00	\$0.00
Public Schools: By State Law	\$366,360.00	\$25,000.00	\$341,360.00	\$1,052.59	\$1,055.49	\$1,074.94
By Local Board	\$366,360.00	\$25,000.00	\$341,360.00	\$743.39	\$767.38	\$755.57
FL Inland Navigation Dist.	\$366,360.00	\$50,000.00	\$316,360.00	\$8.80	\$9.11	\$8.42
Water Mgmt Dist. SJRWMD	\$366,360.00	\$50,000.00	\$316,360.00	\$54.81	\$56.72	\$53.34
School Board Voted	\$366,360.00	\$25,000.00	\$341,360.00	\$330.69	\$341.36	\$341.36
Urb Ser Dist1 Voted	\$366,360.00	\$50,000.00	\$316,360.00	\$0.00	\$0.00	\$0.00
			Totals	\$5,649.74	\$5,810.27	\$5,700.94

Description	Just Value	Assessed Value	Exemptions	Taxable Value
<b>Last Year</b>	\$378,634.00	\$355,690.00	\$50,000.00	\$305,690.00
<b>Current Year</b>	\$404,437.00	\$366,360.00	\$50,000.00	\$316,360.00

**2024 TRIM Property Record Card (PRC)**

This PRC reflects property details and values at the time of the original mailing of the Notices of Proposed Property Taxes (TRIM Notices) in August.

**Property Record Card (PRC)**

The PRC accessed below reflects property details and values at the time of Tax Roll Certification in October of the year listed.

**2023**

**2022**

**2021**

**2020**

**2019**

**2018**

**2017**

**2016**

**2015**

**2014**

- To obtain a historic Property Record Card (PRC) from the Property Appraiser's Office, submit your request here:

**More Information**

[Contact Us](#) | [Parcel Tax Record](#) | [GIS Map](#) | [Map this property on Google Maps](#) | [City Fees Record](#)



# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY. ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: September 3 2024

COA#: 24-31177

Address: 1260 Hollywood Ave  
Jacksonville FL 32205

Owner: Keith Walters

As required by Sec. 307.106(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application 24-31176 were posted on the property/site located at:

079909-0000  
Real Estate Number(s)

1260 Hollywood Ave  
Street Address  
Jacksonville FL 32205  
City, State Zip Code

Printed Name Stephen Harper

Signature [Handwritten Signature]

Dated this 3 day of September, 2024





[Previous on List](#) . [Next on List](#) . [Return to List](#)

Fictitious Name Search

No Filing History

Submit

## Fictitious Name Detail

### Fictitious Name

DYNAMIC FENCE

### Filing Information

**Registration Number** G22000011243  
**Status** ACTIVE  
**Filed Date** 01/26/2022  
**Expiration Date** 12/31/2027  
**Current Owners** 1  
**County** DUVAL  
**Total Pages** 1  
**Events Filed** NONE  
**FEI/EIN Number** 84-1971572

### Mailing Address

4769 ATLANTA CT.  
 JACKSONVILLE, FL 32210

### Owner Information

DYNAMIC EXTERIOR SOLUTIONS LLC  
 4769 ATLANTA CT.  
 JACKSONVILLE, FL 32210  
**FEI/EIN Number:** 84-1971572  
**Document Number:** L19000137655

### Document Images

[01/26/2022 -- Fictitious Name Filing](#)

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Fictitious Name Search

No Filing History

Submit



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
DYNAMIC EXTERIOR SOLUTIONS LLC

### Filing Information

<b>Document Number</b>	L19000137655
<b>FEI/EIN Number</b>	84-1971572
<b>Date Filed</b>	05/22/2019
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	REINSTATEMENT
<b>Event Date Filed</b>	11/11/2022

### Principal Address

4769 ATLANTA CT.  
JACKSONVILLE, FL 32210

### Mailing Address

4769 ATLANTA CT.  
JACKSONVILLE, FL 32210

### Registered Agent Name & Address

UNITED STATES CORPORATION AGENTS, INC.  
476 RIVERSIDE AVE.  
JACKSONVILLE, FL 32202

Name Changed: 11/11/2022

Address Changed: 02/02/2023

### Authorized Person(s) Detail

#### **Name & Address**

Title AMBR

HARPER, STEPHEN  
4769 ATLANTA CT.  
JACKSONVILLE, FL 32210

### Annual Reports

<b>Report Year</b>	<b>Filed Date</b>
2022	11/11/2022



2023 01/24/2023  
2024 04/11/2024

**Document Images**

[04/11/2024 -- ANNUAL REPORT](#)

View image in PDF format

[01/24/2023 -- ANNUAL REPORT](#)

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[11/11/2022 -- REINSTATEMENT](#)

View image in PDF format

[05/28/2021 -- REINSTATEMENT](#)

View image in PDF format

[05/22/2019 -- Florida Limited Liability](#)

View image in PDF format



156











**COA-24-31249**

**2311 River  
Boulevard**



**September 25, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-31249**

**Address:** 2311 River Boulevard, RE# 090564-0000

**Location:** Western terminus of Osceola Street and River Boulevard

**Owner:** John Alan Moore  
2311 River Boulevard  
Jacksonville, Florida 32204

**Applicant:** Daniel Greer  
JBL Corporation, Inc.  
1949 Jersey Street  
Jacksonville, Florida 32210

**Year Built:** c. 1915 (Florida Master Site File)

**Designation:** Riverside Avondale, Contributing

**Request:** Alterations – Elevate Foundation

**Summary Scope of Work:**

1. Elevate foundation four (4) feet in height

**Recommendation:** **Approve with Conditions**

**Conditions:**

1. The elevated foundation shall be limited to four (4) feet in height.
2. The elevated foundation shall be substantially similar with the elevation drawings dated August 28, 2024, or as otherwise approved by the Historic Preservation Section.
3. The elevated foundation shall be differentiated in either color or finish, subject to the review and approval of the Historic Preservation Section.



### **PROJECT DESCRIPTION**

COA-24-31249 seeks to elevate the foundation of a two-story contributing structure within the Riverside Avondale Historic District. The primary scope of work includes lifting the primary structure off the existing foundation and onto a newly elevated four (4) foot tall foundation. According to the applicant, the elevated foundation will help prevent future flooding and waterproof the structure. Building elevation is considered a common practice by property owners to improve flood resilience. Elevation is the process of raising the habitable portion of a structure above the projected flood level in order to minimize future loss and increase resilience. The applicant also provided documentation of surrounding finish floor elevations and photographic evidence of previous flooding impacts.

Situated on a corner lot, the subject property consists of a two-story Queen Anne-style home characterized by its full-width front porch, semi-octagonal bay window and shingle siding, gridded windows, and shingled hip roof with intersecting gables.

Given the nature of the request, the application was also routed to the City of Jacksonville's Office of Resiliency for review and comments. In an email dated September 20, 2024, the Office of Resiliency did not have any objections to the applicant's request to elevate the foundation and mitigate future flooding.



## **STAFF SUMMARY AND ANALYSIS**

Staff considered the Secretary of the Interior's Standards for Rehabilitation and the Ordinance Code criteria found in Sections 307.106(k) and 307.106(l). The following is Staff's analysis:

- The subject property is located within the Coastal High Hazard Area (CHHA), the 0.2 PCT Annual Chance Flood Hazard, and the AE flood zone. CHHA, as defined by Sections 163.3178(2)(h) and 163.3164(1), Florida Statutes, is the area below the elevation of the Category 1 storm surge line as established by the Sea, Lake, and Overland Surges from Hurricanes (SLOSH) computerized storm surge model as established by the most current Northeast Florida Hurricane Evacuation Study. It is shown on The Coastal High Hazard Areas (CHHA) and Hurricane Evacuation Zones Map. Meanwhile, Flood zone designations are assigned by the Federal Emergency Management Agency (FEMA). FEMA defines the various flooding characteristics of different lands based on a 100-year storm. The 100-year storm or Special Flood Hazard Area (SFHA) refers to a flood occurring from a storm event that happens an average of every 100 years. This does not mean that a storm of this type will happen every 100-years. There is a 1-percent chance that a storm of this magnitude will occur in any given year. The AE flood zone is defined as areas within the 100-year floodplain or SFHA where flood insurance is mandatory. In accordance with the Secretary of the Interior's Standards for Rehabilitation's *Guidelines on Flood Adaptation for Rehabilitating Historic Buildings*, designing a new foundation that preserves the historic character of the building as well as the historic spatial and architectural relationships between buildings within the Historic District is critical when elevating foundations to address flood risk.
- Consistent with Section 307.106(k)(1 and 3) and Sections 307.106(l)(1 and 3), the applicant's scope of work requires minimal change to the defining characteristics of the contributing structure. The applicant's request to increase the height of the foundation is an effort to prevent future flooding and waterproof the structure. As conditioned, the four (4) foot increase in foundation height allows for the historic structure to be viewed as distinct and identifiable as original to the site. The proposed height (above grade) of 35 feet as depicted on the elevation drawings dated August 28, 2024 is consistent with other nearby structures and have been conditioned to ensure compatibility.
- As conditioned, the foundation will be elevated four (4) feet in height, constructed of masonry materials, and sheathed in a differentiated finish or color. If properly executed, changes to the foundation height should cause minimal, if any, damage to the historic structure or the historic setting and character of the property. As such, this scope of work is consistent with Section 307.106(l)(1 and 2).
- As conditioned by Staff, the design of the proposed increase in foundation height, as viewed from the front and side elevations, will be a compatible alteration of the historic structure by differentiating itself in terms of material, color, and design, thereby retaining the architectural integrity of the contributing structure. As such, the scope of work is found to be consistent Standards 2 and 9 and Section 307.106(k)(2).

For these reasons, it is the position of the Planning and Development Department that the proposed work under the stated conditions is consistent with:

1. Section 307.106(k) General Standards: 1-3
2. Section 307.106(l) Guidelines on "Alterations": 1-3
3. Secretary of the Interior's Standards for Rehabilitation: 2 and 9
4. Secretary of the Interior's Standards for Rehabilitation: Guidelines on Flood Adaptation for Rehabilitating Historic Buildings

## **CODE CRITERIA AND DESIGN GUIDELINES**

### **General Criteria**

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;
- 307.106(k)(3) - The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected;

### **Alterations**

- 307.106(l)(1) - Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building structure, or site.
- 307.106(l)(2) - The distinguishing original qualities or character of a building, structure, or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- 307.106(l)(3) - Each building, structure, and site shall be recognized as a product of its own time. An alteration which has no historical basis and which seeks to create an earlier appearance shall be discouraged.

### **Design Guidelines, "Doors and Entrances"**

- (2) - The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (9) - New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.







**PICTURE OF PROPERTY WITH POSTED SIGN**





**ELEVATION RENDERINGS DATED AUGUST 28, 2024**







### Application For Certificate Of Appropriateness

#### Application Info

<b>Tracking #</b>	31249	<b>Application Status</b>	FILED COMPLETE
<b>Date Started</b>	08/23/2024	<b>Date Submitted</b>	08/28/2024

#### Planning and Development Department Info

<b>COA #</b>	COA-24-31249
<b>Admin Review</b>	<input type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	8/30/2024
<b>Forwarded to JHPC</b>	<input type="checkbox"/>
<b>JHPC Meeting Date</b>	N/A
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

#### General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
GREER	DANIEL	
<b>Company Name</b>		
THE LANE GROUP		
<b>Mailing Address</b>		
1022 PARK STREET, SUITE 209		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32204
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 355 5833	904 355 5809	DGREER@LANEGROUPINC.COM

#### General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
MOORE	JOHN	ALAN
<b>Company/Trust Name</b>		
N/A		
<b>Mailing Address</b>		
120 ADAMS ST		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
LOUISVILLE	KY	40206
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
5185226446		PITPATPUGH@AOL.COM

#### Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map	RE#
	090564 0000

--	--

**Location Of Property**

**General Location**

Riverside/Avondale Historic District

**House #**

2311

**Street Name, Type and Direction**

RIVER BLVD

**Zip Code**

32204

**Type Of Improvement**

- Addition     Driveway     New Construction     Accessory Structures
- Alteration     Relocation     Window Replacement     Other
- Fencing     Demolition     Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.  
(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

**Proposed Work**

THE PROPOSED WORK IS TO LIFT THE EXISTING MAIN HOUSE APPROXIMATELY DUE TO FREQUENT FLOODING. THIS WILL PUT THE HOUSE ABOVE THE MINIMUM FFE OF 8FT SET BY MICHAEL STANFIELD, FLOODPLAIN COORDINATOR OF COJ. THE EXISTING SLAB-ON-GRADE GARAGE WILL REMAIN AS IS. THE ADDITIONAL STEMWALL NEEDED TO SUPPORT THE HOUSE WILL BE STUCCO OVER CMU WITH THE REQUIRED FLOOD VENTS.

**Addition Information**

**Is this a violation?** Check the box if it is.

**If you have been working with a planner** choose one from the list

**Additional Documents Provided**

	Description
<input checked="" type="checkbox"/>	PROOF OF OWNER 2311 RIVER BLVD
<input checked="" type="checkbox"/>	JOHN & PATRICIA MOORE
<input checked="" type="checkbox"/>	ORIGINAL SURVEY
<input checked="" type="checkbox"/>	TOPO FINISH FLOOR OF NEIGHBORS
<input checked="" type="checkbox"/>	DESIGN SET FLOOR ELEV. BY MICHAEL STANFIELD
<input checked="" type="checkbox"/>	FEMA BY MICHAEL STANFIELD
<input checked="" type="checkbox"/>	PROPOSED RENDERINGS SHOWING BUILDING LIFTED 4
<input checked="" type="checkbox"/>	FEMA 12/31/2005
<input checked="" type="checkbox"/>	ORIGINAL BUILDING ELEVATIONS
<input checked="" type="checkbox"/>	PHOTOGRAPH EAST NEIGHBORS OF 2311 RIVER BLVD
<input checked="" type="checkbox"/>	PHOTOGRAPH NORT-EAST NEIGHBORS OF 2311 RIVER BLVD
<input checked="" type="checkbox"/>	PHOTOGRAPH NORTH NEIGHBOR OF 2311 RIVER BLVD
<input checked="" type="checkbox"/>	PHOTOGRAPH WEST NEIGHBOR OF 2311 RIVER BLVD
<input checked="" type="checkbox"/>	2022 FLOODING AT 2311 RIVER BLVD
<input checked="" type="checkbox"/>	FLOODED DOCK AT 2311 RIVER BLVD



<input checked="" type="checkbox"/>	FLOODED INTERSECTION AT RIVERSIDE AND OSCEOLA-PHOTO
<input checked="" type="checkbox"/>	PHOTO OF FLOODED RIVER BLVD
<input checked="" type="checkbox"/>	PHOTO OF OSCEOLA STREET FLOODED

**Application Certification**

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of property will prompt the removal of all exemptions, assessment caps and special classifications.

**MOORE JOHN ALAN**  
120 ADAMS ST  
LOUISVILLE, KY 40206  
**PUGH MOORE PATRICIA EVA LOUISE**

**Primary Site Address**  
2311 RIVER BLVD  
Jacksonville FL 32204-

**Official Record Book/Page**  
20167-01413

**Tile #**  
6422

**2311 RIVER BLVD**

Property Detail

<b>RE #</b>	090564-0000
<b>Tax District</b>	USD1
<b>Property Use</b>	0100 Single Family
<b># of Buildings</b>	1
<b>Legal Desc.</b>	For full legal description see Land & Legal section below
<b>Subdivision</b>	01575 ACOSTA, S S/D WATER LOT 1
<b>Total Area</b>	18316
<b>Characteristics</b>	<a href="#">Historic Designation</a>

Value Summary

Value Description	2023 Certified	2024 In Progress
<b>Value Method</b>	CAMA	CAMA
<b>Total Building Value</b>	\$765,040.00	\$726,864.00
<b>Extra Feature Value</b>	\$38,195.00	\$36,272.00
<b>Land Value (Market)</b>	\$778,800.00	\$778,800.00
<b>Land Value (Agric.)</b>	\$0.00	\$0.00
<b>Just (Market) Value</b>	\$1,582,035.00	\$1,541,936.00
<b>Assessed Value</b>	\$1,582,035.00	\$1,541,936.00
<b>Cap Diff/Portability Amt</b>	\$0.00 / \$0.00	\$0.00 / \$0.00
<b>Exemptions</b>	\$0.00	See below
<b>Taxable Value</b>	\$1,582,035.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification [Learn how the Property Appraiser's Office values property.](#)

**Taxable Values and Exemptions – In Progress**

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value  
No applicable exemptions

SJRWMD/FIND Taxable Value  
No applicable exemptions

School Taxable Value  
No applicable exemptions

**Sales History**

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
<a href="#">20167-01413</a>	2/21/2022	\$1,640,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">13286-00190</a>	5/11/2006	\$2,599,000.00	MS - Miscellaneous	Qualified	Improved
<a href="#">11925-00639</a>	6/2/2004	\$100.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">10053-00594</a>	6/8/2001	\$530,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">09041-02343</a>	7/10/1998	\$97,500.00	WD - Warranty Deed	Unqualified	Vacant
<a href="#">09041-02340</a>	6/19/1998	\$300,000.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">09027-00197</a>	7/31/1998	\$100.00	MS - Miscellaneous	Unqualified	Vacant
<a href="#">09027-00134</a>	4/30/1998	\$100.00	MS - Miscellaneous	Unqualified	Improved
<a href="#">04576-00139</a>	2/23/1978	\$54,500.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">03996-00591</a>	8/29/1975	\$44,500.00	MS - Miscellaneous	Unqualified	Improved

**Extra Features**

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	FPMR7	Fireplace Masonry	1	0	0	6.00	\$10,557.00
2	POLR3	Pool	1	0	0	1.00	\$14,280.00
3	BCWR6	Boat Cover	1	36	22	792.00	\$8,278.00
4	DLWR6	Dock Wood Light Wgt	1	0	0	400.00	\$3,157.00

**Land & Legal**

Land

LN	Code	Use Description	Zoning Assessment	Front	Depth	Category	Land Units	Land Type	Land Value
1	1230	RES/OFFICE WATERFRONT	RO	0.00	0.00	Common	17,700.00	Square Footage	\$778,800.00

Legal

LN	Legal Description
1	3-99 56-2S-26E .406
2	ACOSTAS S/D
3	S 20FT LOT 6,LOTS 7,8,PT CLOSED
4	ST RECD ORD 98-133-E



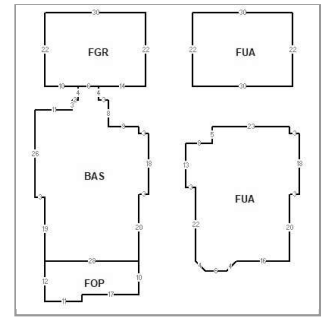
**Buildings** 

**Building 1**  
 Building 1 Site Address  
 2311 RIVER BLVD Unit  
 Jacksonville FL 32204-

<b>Building Type</b>	0108 - SFR CLASS 2
<b>Year Built</b>	1922
<b>Building Value</b>	\$726,864.00

Type	Gross Area	Heated Area	Effective Area
Finished upper story 1	1215	1215	1154
Finished upper story 1	660	660	627
Base Area	1404	1404	1404
Finished Garage	660	0	330
Finished Open Porch	302	0	91
<b>Total</b>	<b>4241</b>	<b>3279</b>	<b>3606</b>

Element	Code	Detail
Exterior Wall	8	8 Horizontal Lap
Exterior Wall	14	14 Wood Shingle
Roof Struct	3	3 Gable or Hip
Roofing Cover	3	3 Asp/Comp Shng
Interior Wall	3	3 Plastered
Int Flooring	12	12 Hardwood
Heating Fuel	4	4 Electric
Heating Type	4	4 Forced-Ducted
Air Cond	3	3 Central



Element	Code	Detail
Stories	2.000	
Bedrooms	4.000	
Baths	4.500	
Rooms / Units	1.000	

**2024 Notice of Proposed Property Taxes Notice (TRIM Notice)**

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
County	\$1,541,936.00	\$0.00	\$1,541,936.00	\$17,903.73	\$17,449.94	\$16,899.62
Urban Service Dist1	\$1,541,936.00	\$0.00	\$1,541,936.00	\$0.00	\$0.00	\$0.00
Public Schools: By State Law	\$1,541,936.00	\$0.00	\$1,541,936.00	\$5,035.62	\$4,767.67	\$4,855.56
By Local Board	\$1,541,936.00	\$0.00	\$1,541,936.00	\$3,556.41	\$3,466.27	\$3,412.92
FL Inland Navigation Dist.	\$1,541,936.00	\$0.00	\$1,541,936.00	\$45.56	\$44.41	\$41.02
Water Mgmt Dist. SJRWMD	\$1,541,936.00	\$0.00	\$1,541,936.00	\$283.66	\$276.47	\$259.97
School Board Voted	\$1,541,936.00	\$0.00	\$1,541,936.00	\$1,582.04	\$1,541.94	\$1,541.94
Urb Ser Dist1 Voted	\$1,541,936.00	\$0.00	\$1,541,936.00	\$0.00	\$0.00	\$0.00
			<b>Totals</b>	<b>\$28,407.02</b>	<b>\$27,546.70</b>	<b>\$27,011.03</b>

Description	Just Value	Assessed Value	Exemptions	Taxable Value
<b>Last Year</b>	\$1,582,035.00	\$1,582,035.00	\$0.00	\$1,582,035.00
<b>Current Year</b>	\$1,541,936.00	\$1,541,936.00	\$0.00	\$1,541,936.00

**2024 TRIM Property Record Card (PRC)**

This PRC reflects property details and values at the time of the original mailing of the Notices of Proposed Property Taxes (TRIM Notices) in August.

**Property Record Card (PRC)**

The PRC accessed below reflects property details and values at the time of Tax Roll Certification in October of the year listed.

- 2023**
- 2022**
- 2021**
- 2020**
- 2019**
- 2018**
- 2017**
- 2016**
- 2015**
- 2014**

• To obtain a historic Property Record Card (PRC) from the Property Appraiser's Office, submit your request here: 

**More Information**

[Contact Us](#) | [Parcel Tax Record](#) | [GIS Map](#) | [Map this property on Google Maps](#) | [City Fees Record](#)





# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY. ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: 9/9/24

COA#: COA-24-31249

Address: 2311 RIVER BLVD.  
JAX. FL. 32204

Owner: JOHN & PATRICIA  
MOORE

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application cdl were posted on the property/site located at:

090564-0000  
Real Estate Number(s)

2311 RIVER BLVD

Street Address  
JAX. FL. 32204

City, State Zip Code

Printed Name C. DOUGLAS LANE

Signature C. Douglas Lane

Dated this 9<sup>th</sup> day of Sept., 2024



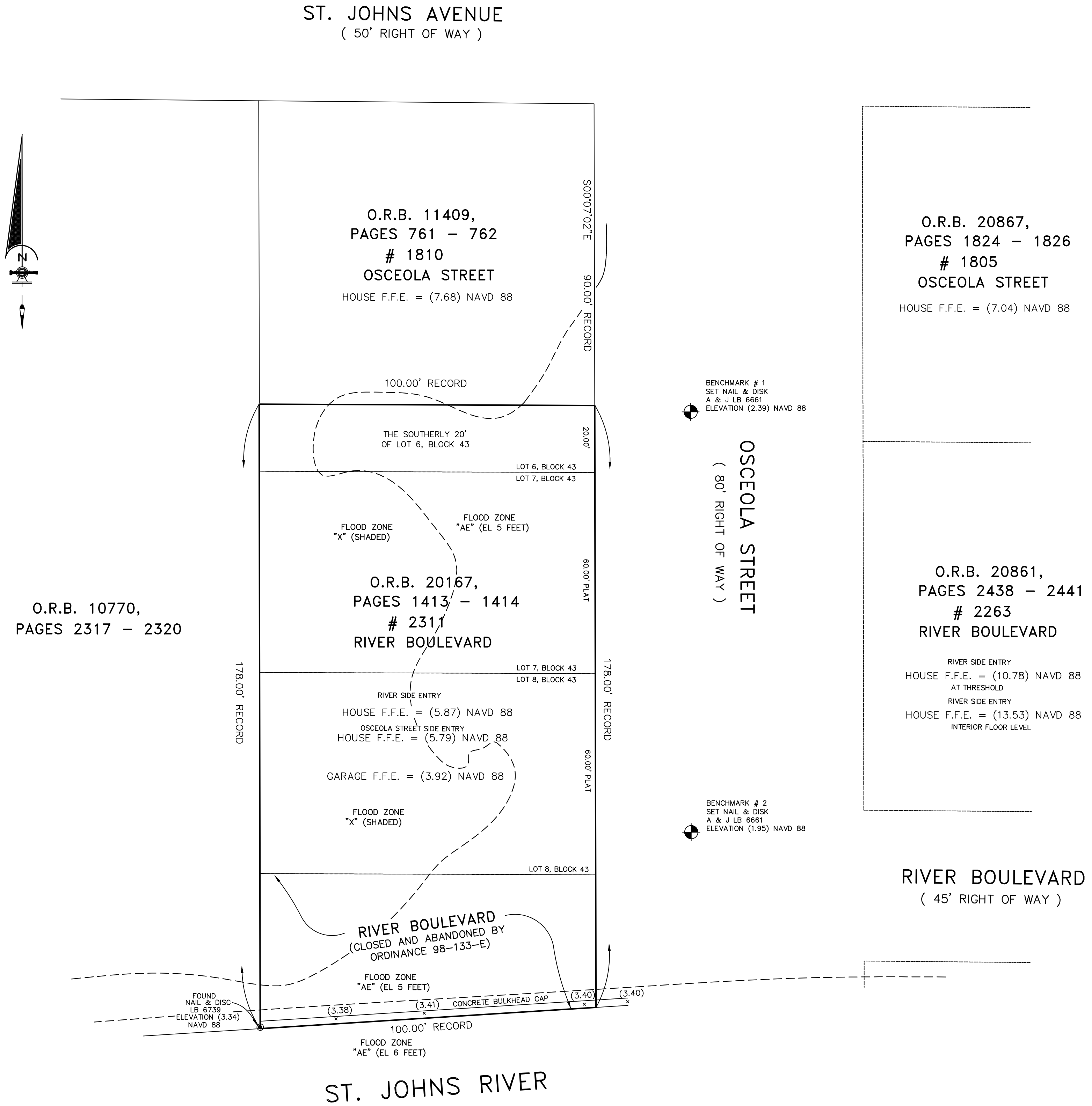


MAP SHOWING SPECIFIC PURPOSE SURVEY OF

THE SOUTHERLY 20 FEET OF LOT 6. AND ALL OF LOTS 7 AND 8 AND THAT PORTION OF RIVER BOULEVARD (CLOSED AND ABANDONED BY ORDINANCE 98-133-E) AND LYING ADJACENT TO AND IMMEDIATELY SOUTH OF SAID LOT 8, TRACY L. ACOSTAS SUBDIVISION OF LOT 1, BLOCK 43, RIVERSIDE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 99, OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

THE ABOVE DESCRIBED LANDS BEING THE SAME LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 20167, PAGES 1413 AND 1414, OF THE SAID CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

CERTIFIED TO: THE LANE GROUP, INC.



NOTE: THE SPECIFIC PURPOSE OF THIS SURVEY WAS TO OBTAIN THE FINISHED FLOOR ELEVATION OF THE SUBJECT PROPERTY, AT 2311 RIVER BOULEVARD, ALONG WITH THE GARAGE FINISH FLOOR ELEVATION, AND OBTAIN ELEVATIONS ALONG THE BULKHEAD ON THE SUBJECT PROPERTY. THE FINISHED FLOOR ELEVATION FOR THE PROPERTIES LOCATED AT # 1810 AND # 1805 OSCEOLA STREET, AND # 2263 RIVER BOULEVARD WERE ALSO OBTAINED. THE INFORMATION OBTAINED TO BE USED IN ARCHITECTURAL AND ENGINEERING DESIGN.

NOTE: NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. NOTICE OF LIABILITY: THIS SURVEY IS CERTIFIED TO THOSE INDIVIDUALS, ENTITIES, AND/OR FIRMS AS SHOWN ON THE FACE OF THIS SURVEY. ANY OTHER USE, BENEFIT OR RELIANCE BY ANY OTHER PARTY IS STRICTLY PROHIBITED AND RESTRICTED. THIS SURVEYING FIRM AND THE SIGNING SURVEYOR IS RESPONSIBLE ONLY TO THOSE THAT APPEAR IN THE CERTIFICATION AND HEREBY DISCLAIMS ANY OTHER LIABILITY AND HEREBY RESTRICTS THE RIGHTS OF OTHERS, (INDIVIDUAL OR ENTITIES) TO USE THIS SURVEY WITHOUT THE EXPRESS WRITTEN CONSENT OF THIS FIRM AND/OR SURVEYOR.

**NOTES:**

- BEARINGS ARE BASED ON THE WESTERLY LINE OF OSCEOLA STREET AS BEING S 00°07'02" E, ASSUMED.
- THIS IS A SPECIFIC PURPOSE SURVEY OF THE LANDS DESCRIBED HEREON.
- ELEVATIONS SHOWN THUS (15.0) REFER TO THE US DEPARTMENT OF COMMERCE, NATIONAL OCEANIC & ATMOSPHERIC ADMINISTRATION (NOAA), NATIONAL GEODETIC SURVEY (NGS) DATUM, NORTH AMERICAN VERTICAL DATUM OF 1988, (NAVD OF 1988).
- BY GRAPHIC PLOTTING ONLY, THE PROPERTY SHOWN HEREON APPEARS TO LIE WITHIN ZONES: "X" (SHADED), AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.), NATIONAL FLOOD "AE" (EL 5 FEET) INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY PANEL NUMBER, & 120077 0362 J.; MAP REVISED DATE: 11/02/2018, MAP NUMBER 12031C0362L.
- UNLESS OTHERWISE NOTED, ANY PORTION OF THE PARCEL THAT MAY BE DEEMED AS WETLANDS BY STATE OR GOVERNMENTAL AGENCIES, HAS BEEN DETERMINED AND ANY LIABILITY RESULTING THEREFROM IS NOT THE RESPONSIBILITY OF THE UNDERSIGNED.
- THERE MAY BE RESTRICTIONS OR EASEMENTS OF RECORD EVIDENCED BY TITLE EXAMINATION THAT HAVE NOT BEEN SHOWN HEREON.

**LEGEND**

- DENOTES CONCRETE MONUMENT
- x-x DENOTES FENCE
- DENOTES 1/2" IRON PIPE SET A & J LB 6661
- DENOTES PROPERTY CORNER FOUND AS NOTED
- ⊙ DENOTES NAIL AND DISC LB 5488 (JEFF ON SERVER)

**ABBREVIATIONS THAT MAY BE USED IN THIS SURVEY**

P.C.P.	PERMANENT CONTROL POINT	MM	WATER METER
P.R.M.	PERMANENT REFERENCE MONUMENT	LB	LICENSED BUSINESS
EL	ELEVATION	MB	MAIL BOX
P.O.B.	POINT OF BEGINNING	CL	CHAIN LINK
P.O.R.	POINT OF REFERENCE	MH	MAN HOLE
P.C.	POINT OF CURVATURE	A/C	AIR CONDITIONER
P.T.	POINT OF TANGENCY	NO ID	NO IDENTIFICATION
F.F.E.	FINISHED FLOOR ELEVATION	OHL	OVERHEAD LINES
P.R.C.	POINT OF REVERSE CURVATURE	F.M.	FIELD MEASURED
P.I.	POINT OF INTERSECTION	R=	RADIUS EQUALS
R/W	RIGHT OF WAY	L=	ARC LENGTH EQUALS
O.R.B.	OFFICIAL RECORDS BOOK	CH=	CHORD BEARING & DISTANCE EQUALS
F.B.	FIELD BOOK	Δ=	DELTA OR CENTRAL ANGLE EQUALS
NO.	NUMBER	IP	IRON PIPE
BRL	BUILDING RESTRICTION LINE	CONC.	CONCRETE

**A & J LAND SURVEYORS, INC.**  
CERTIFICATE OF AUTHORIZATION NO. LB 6661  
PROFESSIONAL LAND SURVEYORS  
5847 LUELLA STREET  
JACKSONVILLE, FLORIDA 32207  
OFFICE: (904) 346-1733  
FAX: (904) 346-1736

DATE: AUGUST 26, 2024  
SCALE: 1" = 20'  
JOB NO.: 60714  
F. BOOK(S): 658 & 657  
PAGE(S): 4B  
COMPUTER FILE NAME: 60714-2311-RIVER-BLVD.DWG  
(JEFF ON SERVER)

GEORGE J. WARD, STATE OF FLORIDA  
REGISTERED LAND SURVEYOR, CERTIFICATE NUMBER 5155

REFERENCE BENCHMARK: FOUND A BRASS BENCH MARK DISK, DESIGNATION - JACKSONVILLE 2, ELEVATION (7.31) NAVD 1988 BENCH MARK DISK SET IN THE TOP OF CONCRETE MONUMENT, STAMPING : JACKSONVILLE NO. 2 1932 LOCATED IN MEMORIAL PARK, ±85 FEET WESTERLY OF THE CENTERLINE OF THE CONCRETE ENTRANCE TO THE PARK OFF RIVERSIDE AVENUE, AND ±7.5' SOUTH OF A 4' METAL FENCE





1 EXISTING EAST ELEVATION  
E-10 SCALE: 3/8" = 1'-0"



2 EXISTING WEST ELEVATION  
E-10 SCALE: 3/8" = 1'-0"

EXISTING  
EXTERIOR  
ELEVATIONS

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NO.	DATE	REVISIONS
1.		
2.		
3.		
4.		
5.		
6.		
7.		
8.		

COMMISSION NO.	DATE
	1/04/07
SCALE	SEE SHEET
DRAWN BY	PAMELA VANAS
CHECKED BY	DOUG LANE
SHEET NO.	OF



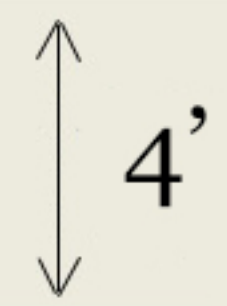
Elevation Renderings  
August 28, 2024  
Page 1 of 1



EXISTING

EXISTING  
FIN. FLOOR  
@ EL. 5.79'

RAISE FIN. FLOOR  
TO ELEV. 9.79'



PROPOSAL

ADD ADDITIONAL BRICK  
STEPS TO MATCH

NEW CMU STEMWALL FOUNDATION  
W/ STUCCO FINISH.

OPERATING FLOOD VENTS  
SET @ RECOMMENDED LEVEL





Doug Lane <dlane@lanegroupinc.com>

**2311 River Blvd.**

Stanfield, Michael - PDDS <MRS@coj.net>

Thu, Aug 22, 2024 at 3:05 PM

To: Doug Lane <dlane@lanegroupinc.com>

Cc: Matt Franklin <matt@livingonameliaisland.com>, Tamara Baker <tbaker@bdbjax.com>, Chandler Cole <ccole@bdbjax.com>, Daniel Greer <dgreer@lanegroupinc.com>

Doug,

The information provided to you by Mark Pate regarding the required FFE is still the same as the attachment. The DFE (Design Flood Elevation) is 8ft NAVD-88; FFE and all machinery servicing the structure must be at or above the DFE.

*Kind Regards,*

**Michael Stanfield, CFM**

*Floodplain Coordinator*

City of Jacksonville | Development Services Division,

Planning and Development Department

214 N. Hogan Street, 2<sup>nd</sup> Floor Suite 2100

Jacksonville, FL 32202

Office: (904) 255-8366

[www.Jacksonville.gov](http://www.Jacksonville.gov)



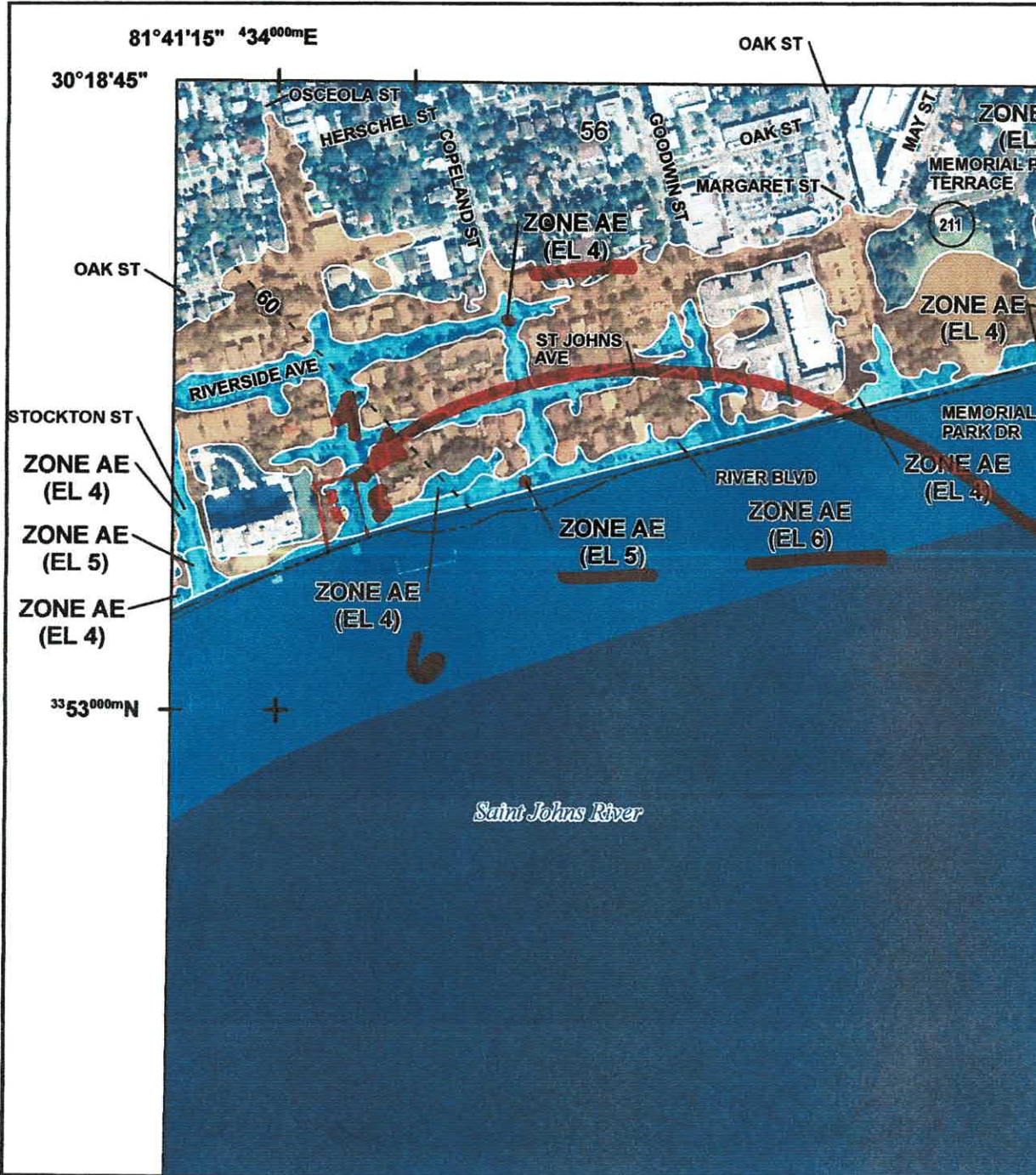
A NEW DAY

**PLEASE NOTE THAT UNDER FLORIDA'S PUBLIC RECORDS LAW, COMMUNICATIONS TO AND FROM CITY OF JACKSONVILLE OFFICIALS ARE SUBJECT TO PUBLIC DISCLOSURE.**



Current

MAR 2 2 2022



**Map Projection:**  
 HARN State Plane Transverse Mercator, Florida East  
 North American Datum 1983 HARN; Western Hemisphere

**1 inch = 500 feet**

0 250 500 750 1,000

**FEMA**  
 National Flood Insurance Program

**NATIONAL FLOOD INSURANCE PROGRAM**  
 FLOOD INSURANCE RATE MAP

**DUVAL COUNTY, FLORIDA**  
 (All Jurisdictions)

PANEL 366 of 675

Panel Contains:  
 COMMUNITY JACKSONVILLE, CITY OF  
 NUMBER 120077  
 PANEL 0366  
 SUFFIX J



2311 River Blvd.  
 090564-0000

FLOOD DATA  
 FIRM PANEL 0366J  
 Flood Zone X, AE  
 Base Flood Elev. 6 NAVD-88  
 Freeboard 2'  
 Design Flood Elev. 8 NAVD-88  
**ELEVATION CERTIFICATE REQUIRED**

VERSION NUMBER  
 2.3.3.2

MAP NUMBER  
 12031C0366J

MAP REVISED  
 NOVEMBER 2, 2018

This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.

• feasibility review



804  
62046.00

FEDERAL EMERGENCY MANAGEMENT AGENCY  
NATIONAL FLOOD INSURANCE PROGRAM  
**ELEVATION CERTIFICATE**

O.M.B. No. 3067-0077  
Expires December 31, 2005

Important: Read the instructions on pages 1 - 7.

**SECTION A - PROPERTY OWNER INFORMATION**

BUILDING OWNER'S NAME C. TODD KEMP	For Insurance Company Use: Policy Number
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 2311 RIVER BOULEVARD	Company NAIC Number
CITY JACKSONVILLE	STATE FLORIDA
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOTS 7 & 8 & PART OF RIVER BOULEVARD, TRACEY L. ACOSTAS S/D, DUVAL COUNTY, FL.	ZIP CODE 32204
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) ATTACHED GARAGE	
LATITUDE/LONGITUDE (OPTIONAL) (###-##-###.### or ###.####) N/A	HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983 SOURCE: <input type="checkbox"/> GPS (Type): <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other N/A

**SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION**

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER JACKSONVILLE, FLORIDA 120077	B2. COUNTY NAME DUVAL	B3. STATE FLORIDA
B4. MAP AND PANEL NUMBER 120077 - 0142	B5. SUFFIX E	B6. FIRM INDEX DATE 4-15-1992
B7. FIRM PANEL EFFECTIVE/REVISED DATE 8-15-1989	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 6 FEET

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe):

B11. Indicate the elevation datum used for the BFE in B9:  NGVD 1929  NAVD 1988  Other (Describe):

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
Designation Date:

**SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)**

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO  
Complete items C3.a-i below according to the building diagram specified in item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.  
Datum NGVD 1929 Conversion/Comments 0.0  
Elevation reference mark used COUNTY BENCH Does the elevation reference mark used appear on the FIRM?  Yes  No

<input type="checkbox"/> a) Top of bottom floor (including basement or enclosure)	N/A	ft(m)
<input type="checkbox"/> b) Top of next higher floor	N/A	ft(m)
<input type="checkbox"/> c) Bottom of lowest horizontal structural member (V zones only)	N/A	ft(m)
<input type="checkbox"/> d) Attached garage (top of slab)	5.5	ft(m)
<input type="checkbox"/> e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area.)	N/A	ft(m)
<input type="checkbox"/> f) Lowest adjacent (finished) grade (LAG)	5.0	ft(m)
<input type="checkbox"/> g) Highest adjacent (finished) grade (HAG)	5.1	ft(m)
<input type="checkbox"/> h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade	2	
<input type="checkbox"/> i) Total area of all permanent openings (flood vents) in C3.h	792	sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date  
*Raymond J. Schaefer*  
12-07-2005

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION**

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.  
I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.  
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME RAYMOND J. SCHAEFER LICENSE NUMBER 6132

TITLE REGISTERED LAND SURVEYOR AND MAPPER COMPANY NAME ASSOCIATED SURVEYORS, INC.

ADDRESS 3846 BLANDING BOULEVARD CITY JACKSONVILLE STATE FLORIDA ZIP CODE 32210

SIGNATURE *Raymond J. Schaefer* DATE 12-07-2005 TELEPHONE 904-771-6468



<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			For Insurance Company Use:
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO.			Policy Number
CITY	STATE	ZIP CODE	Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

---



---

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

Check here if attachments

For Zone AO and Zone A (without BFE), complete Items E1. through E5. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

E1. Building Diagram Number \_\_\_\_\_ (Select the building diagram most similar to the building for which this certificate is being completed – see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

E2. The top of the bottom floor (including basement or enclosure) of the building is \_\_\_\_\_ ft. (m) \_\_\_\_\_ in. (cm) \_\_\_\_\_ above or \_\_\_\_\_ below (check one) the highest adjacent grade. (Use natural grade, if available.)

E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is \_\_\_\_\_ ft. (m) \_\_\_\_\_ in. (cm) above the highest adjacent grade. Complete Items C3.h and C3.i on front of form.

E4. The top of the platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ft. (m) \_\_\_\_\_ in. (cm) \_\_\_\_\_ above or \_\_\_\_\_ below (check one) the highest adjacent grade. (Use natural grade, if available.)

E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, C, and E are correct to the best of my knowledge.

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP CODE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ TELEPHONE \_\_\_\_\_

COMMENTS \_\_\_\_\_

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

Check here if attachments

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

G1.  The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3.  The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER _____	G5. DATE PERMIT ISSUED _____	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED _____
-------------------------	------------------------------	---

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is: \_\_\_\_\_ ft. (m) Datum: \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site is: \_\_\_\_\_ ft. (m) Datum: \_\_\_\_\_

LOCAL OFFICIAL'S NAME \_\_\_\_\_ TITLE \_\_\_\_\_

COMMUNITY NAME \_\_\_\_\_ TELEPHONE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

COMMENTS \_\_\_\_\_





THE SECRETARY  
OF THE INTERIOR'S  
STANDARDS FOR  
REHABILITATION &

GUIDELINES  
ON **FLOOD**  
**ADAPTATION** FOR  
REHABILITATING  
HISTORIC  
BUILDINGS



U.S. Department of the Interior  
National Park Service  
Technical Preservation Services



These Guidelines were previously issued as a text-only version in November 2019. This illustrated version was revised to include diagrams, photographs, and other changes and replaces the prior version.

This publication has been prepared pursuant to the National Historic Preservation Act, which directs the Secretary of the Interior to develop and make available information concerning historic properties. Additional information offered by Technical Preservation Services is available on our website at [www.nps.gov/tps](http://www.nps.gov/tps). Comments about this publication should be made to: Technical Preservation Services, National Park Service, 1849 C Street NW, Mail Stop 7243, Washington, DC 20240.

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THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION &  
GUIDELINES ON **FLOOD ADAPTATION** FOR REHABILITATING  
HISTORIC BUILDINGS

Jenifer Eggleston  
Jennifer Parker  
Jennifer Wellock

U.S. Department of the Interior  
National Park Service  
Technical Preservation Services  
Washington, DC

2021



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## ELEVATE THE BUILDING ON A NEW FOUNDATION

This adaptation method involves raising the height of a building by lifting the building from the existing foundation, constructing a higher foundation, and resetting the building on the new base. While this is one of the most common solutions for addressing flood risk, the historic character and appearance of the building can be considerably impacted when the change in height of the new foundation is significantly different from the original height. Elevating a building on a new foundation can greatly affect the historic character and integrity of the building, and any associated historic district, if not carefully planned and considered.

This adaptation treatment can generally protect a historic building from any type of flooding if the water does not reach the new first floor after elevation. The anticipated flood type will dictate the foundation treatment. For example, in a fast-moving flood a building that is properly tied to the piers of an open foundation will generally have less damage than a building on a closed foundation. In other circumstances, break-away walls may be the only type of solid infill allowable below the established flood risk level. Local zoning and building code requirements may limit how, and to what height, a building may be elevated.

Consultation with a local floodplain administrator or other knowledgeable professional will help identify requirements specific to a location or site. The local floodplain administrator may also be able to provide information about the future viability of community infrastructure impacted by flood events such as roads, sewers, and other utilities and services. Continued access to infrastructure should be considered; there could be a point in the future when an elevated building no longer has services or road access.

In general, this method of adaptation is easiest for frame buildings above crawlspaces, piers, or post foundations. Large masonry buildings, row houses, slab-on-grade construction, and downtown commercial buildings sharing party walls can be more challenging and expensive to elevate and, in some cases, impractical or infeasible. For example, in cases of multiple connected properties, like a block of row houses, close coordination and agreement among property owners would be necessary as well as shared financing and liability.

Buildings can generally be elevated a nominal amount without a major impact on the property's historic character. How high will depend on the historic character and appearance of the specific property. Thoughtful design will take into account both the flood risk and the existing historic design.





[74] Elevating masonry buildings built to the side lot lines can be difficult but has been done historically. This illustration shows an entire merchant block in Chicago being elevated at one time in 1857, as part of a larger plan to elevate the entire downtown area by four feet. Photo: Chicago History Museum, ICHI-059709

[75] (a) It can be challenging to elevate ranch houses, which generally sit close to grade, more than a nominal amount without impacting their historic character and appearance. (b) This is probably as high as this house can be lifted and still maintain its historic character without significant site work to help disguise the change in elevation. The thin, dark-colored railings at the front porch and stairs visually recede.



(a) Photo: Rubion Construction Co., LLC

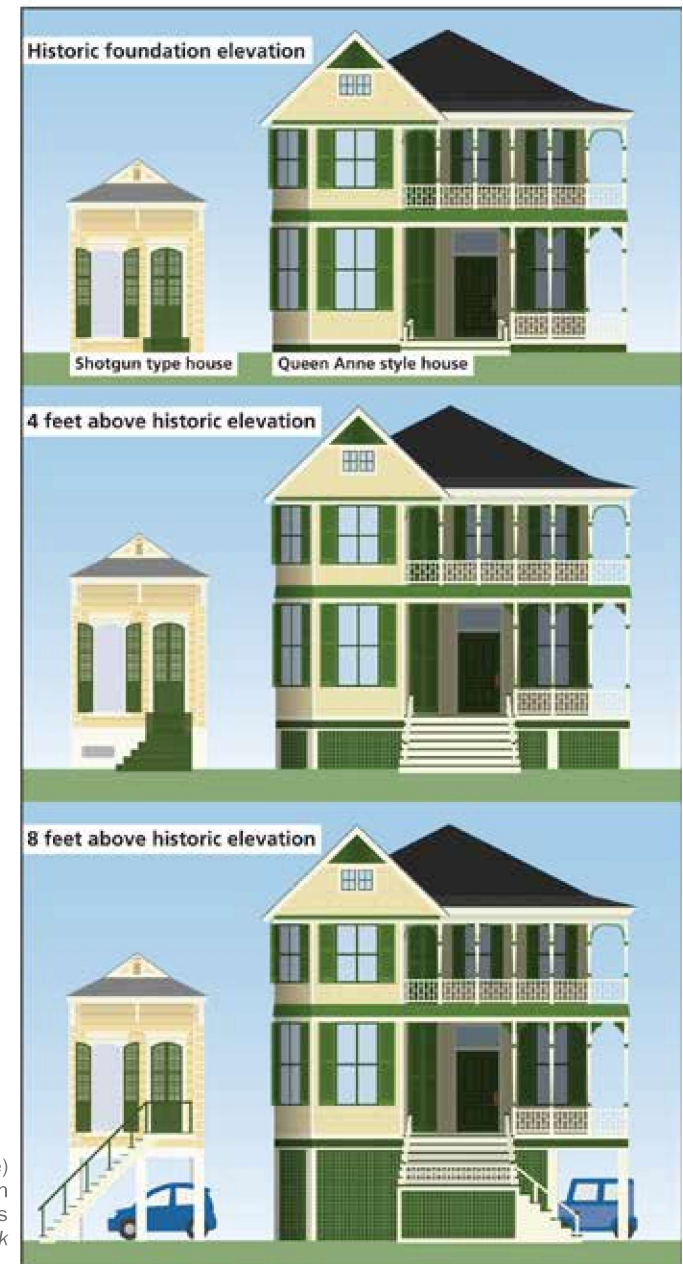


(b) Photo: Rubion Construction Co., LLC

The size, scale, height, and massing of a building will affect how much change in height may be acceptable without impacting the historic character of the property. **Establishing a universal standard or measurement for how high any given building can be elevated is not possible.** Generally, there is less perceived impact on the character of a historic building when the proportional and massing relationships of the foundation to the body of the building and the overall vertical or horizontal emphasis of the building are maintained. In order to maintain the overall historic character and appearance of the building, it is important to consider the following aspects of the site, setting, and design.

#### Property Considerations:

- topography and landscaping
- the shape and size of the lot
- placement and setbacks of the building on the site
- building footprint in relation to the shape and size of the lot
- massing and form including the existing overall width to height ratio
- building height and number of floors
- horizontal or vertical orientation
- property type
- construction type
- relative visibility of the foundation or basement
- mass of foundation in comparison to the main mass of the building



[76] Massing, scale, and proportions (tall vs. wide) are some of the important factors to consider when elevating a building and evaluating the impact on its historic character and appearance. *Graphic: Blank Space LLC for NPS*





(a) Photo: Westfield Architects & Preservation Consultants



(b) Photo: Westfield Architects & Preservation Consultants

[77] Elevating a building on a small site can require a change in access to the front door. In this example the main entry was retained, but the new stair had to be oriented to the side due to front setback requirements. The change in height has been masked with foundation plantings.

A smaller-scale building may be difficult to elevate more than a few feet without having an impact on its historic character. With some exceptions, elevating a small building to a height approaching a full story will not meet the Standards for Rehabilitation.

The historic setting, features, spaces, and materials of a building should be preserved if they are important in conveying the historic associations, character, and significance of the property. As the height of a building increases, meeting the Standards will be more challenging because of the substantial change to the character and appearance of foundations, basements, porches or terraces, and staircase height and length, as well as other exterior features and materials. For buildings within historic districts, elevations should be coordinated to maintain the historic spatial and architectural relationships among buildings and the character of the district. Local preservation guidelines can help provide standardized design and treatment approaches for elevating buildings specific to the district.

Where there is a tradition of elevating buildings, there may be more flexibility to increase the height of a foundation. In this historic context, a more significant degree of change may be acceptable while still maintaining the historic character of the property. Traditional adaptive approaches may be specific to certain regions, to building or construction types in those areas, and have common materials or design features. It is important to maintain the material and foundation treatments of the regional tradition.

### Technical Limitations:

- The historic building must be structurally stable and/or repaired or temporarily reinforced in order to be raised onto a new foundation.
- There must be a structural system that can support the building on temporary cribbing while a new foundation is constructed. For example, buildings in which a structural slab also functions as the floor or subfloor do not have a platform that would support the walls when lifted.
- The building must be able to be physically separated from neighboring buildings, although attached buildings that are one structure can be elevated together.
- Constrained sites may control how high a building can be elevated due to limited space available to construct or extend stairs to provide access.
- Foundation type (open vs. closed) may be prescribed by the local ordinance.



[78] In many areas that have a history of flooding, buildings may have already been raised. Wheeling Island in the middle of the Ohio River in Wheeling, WV, was inundated by thirty-three floods between the 1860s and 1960s. During this period buildings on the island were constructed on tall foundations or were lifted onto higher foundations or berms after flood events. *Photo: Library of Congress, Prints & Photographs Division, photograph by Carol M. Highsmith (altered)*





[79] Buildings on a concrete slab can be more challenging to lift. In some cases, as shown in this example, the existing slab can be lifted and still remain the floor for the interior spaces. In other instances, the slab may need to remain at grade, with a new elevated floor structure constructed above. *Photo: p3elevation.com*

## PLANNING AND PREPARATION

RECOMMENDED	NOT RECOMMENDED
Identifying, retaining, and preserving materials and features of the building that are important in defining its overall historic character before elevating the building.	
Assessing the impact of elevating a building on its historic character, including the aspects of the site, setting, and design of the property (see the Property Considerations list on page 76).	
	Elevating a building that was specifically designed to connect to or interact with the landscape without planning how to retain this spatial relationship, such as buildings with interior spaces that open onto a terrace or outdoor courtyard.

[80] A building cannot be easily elevated without impacting the historic character and appearance of the property when it has been designed to be closely connected to the landscape. For the David Cohen House in Siesta Key, FL, the architect Paul Rudolph designed the house to sit low to the ground and to have strong visual relationships to the exterior. Windows with large expanses of glass can be completely opened to the outside, bringing the outside in. Features such as flooring and wall materials continue from interior to exterior spaces. Elevating the building's spatial relationship to the surrounding landscape would not be a recommended treatment for this property.



(a) Photo: Seibert Architects



(b) Photo: Seibert Architects



## PLANNING AND PREPARATION

### Case Study



Elevating a building can be combined with other adaptations, particularly when it is not feasible or desirable to elevate substantially above grade. To learn about how several treatments were used in combination at a historic property, refer to Case Study 4: Combined Flood Adaptations to Protect a Rhode Island Livery on page 139.

#### RECOMMENDED

#### NOT RECOMMENDED

Documenting the building in photographs and/or graphics, particularly any features that may be lost or altered, prior to beginning work.	
Elevating later additions and porches that also contribute to the historic significance of the building along with the main structure.	Demolishing later additions and porches without regard to their historic significance.
Repairing any structural deficiencies, such as rotten sill plates and termite damage, before beginning work to separate the building from the existing foundation.	Lifting a building from its foundation without first conducting a thorough inspection and repairing any identified structural issues.
Protecting fragile features and materials subject to damage from minor movements or vibrations of the structure, like decorative plaster.	



[81] When planning to elevate a building, it is helpful to create mock-ups or visual representations to illustrate the new floor height in comparison to the existing height in order to evaluate the impact on the historic character of the building. In this example, the proposal is to elevate the building to 6 feet above the existing first-floor level. *Photo: Dianne Selditch/SoundWaters*



[82] Little can be done to mask or alter the appearance of a tall foundation. Once a building has been elevated the equivalent of a story or more, the overall proportions and scale of the building is often changed, resulting in diminished historic character. *Photo: Courtesy of the Southern Forest Products Association*





(a) Photo: Rubion Construction Co., LLC

[83] This historic house has been elevated and altered to an extent that it has lost its historic character and integrity. As part of the project to elevate the house, a new story was added beneath the original one-story building. Elevating a small-scale or one-story building by an additional story is almost always not an appropriate adaptation.



(b) Photo: Rubion Construction Co., LLC

## HEIGHT OF THE ELEVATION

### RECOMMENDED

Identifying and retaining the historic massing, scale, size, form, and proportional relationships of the major elements of the historic building and/or the historic district.

Designing a new foundation that preserves the historic character of the building.

### NOT RECOMMENDED

Elevating a building without considering the impact to the massing, size, scale, form, and proportional relationships of the historic building and/or the historic district.

Designing a new foundation that is too tall, so that its size and scale are out of proportion to the historic building and, diminishing its character.



(b) Photo: Charles E. Leche



(a) Photo: Courtesy of Preservation in Print with permission of the photographer

[84] This property in Mandeville, LA, is in an area of high flood risk and was elevated by an additional six feet. This necessitated a new stair and piers. In this case the original tapered porch columns were retained, and new brick piers were installed below. The new stairs are in their original location and orientation. The new porch balustrade emphasizes the porch level, while dark-colored lattice encloses a utility area below and helps to visually tie the building to the ground without it appearing like an additional story has been added to this one-story building.





(a) Photo: Ward Wight Sotheby's International Realty via Pinterest



(b) Photo: Andrea Tingey/NJ Dept. of Environmental Protection, Historic Preservation Office

[85] The Bay Head Yacht Club in Bay Head, NJ, was elevated after it was damaged by wave action from Superstorm Sandy in 2012. (a) The club building was constructed in 1928 on piers to allow easy access to the water, and the building sits entirely over Barnegat Bay. To lift the building eleven feet, 100 new concrete-filled steel pilings were driven 80-feet deep. (b) The change in elevation is less noticeable due to the massing, horizontal orientation, scale, and character of the building. As part of the project, missing historic architectural features, like the dormers, were reconstructed based on photographic documentation and physical evidence.

## HEIGHT OF THE ELEVATION

RECOMMENDED	NOT RECOMMENDED
<p>Using existing attributes and features such as large lot size, tall building height, visible foundation, porches or terraces, and stairs/steps to minimize the impact of alterations to the historic character of the property. For example, an existing porch can be altered to create a wider skirting board to mask a portion of the change in height.</p>	<p>Altering the building’s important character-defining features to mask the change in height, such as elongating first-floor windows.</p>
	<p>Adding conjectural features from other buildings to mask a change in height, such as adding a new porch where none existed historically.</p>
<p>Applying historic regional or local traditions that have developed to adapt certain building types to flooding risks.</p>	<p>Applying regional or local traditions to property or construction types that are not associated with that location.</p>
<p>Elevating a building already on a visible historic foundation, such as a raised basement or crawlspace.</p>	<p>Elevating a building on grade or with no visible foundation more than a few feet without concealing or masking the change in height of the foundation using site alterations or other design techniques.</p>
	<p>Elevating a small-scale or one-story building to a height approaching a full additional story.</p>



(a) Photo: Courtesy of Ketchikan Museums: David Nicoll image, Tongass Historical Society Collection, THS 75.6.10.2



(b) Photo: Stephen Reeves

[86] The Creek Street Historic District in Ketchikan, AK, is made up of “stilt” buildings, with piers or pilings as foundations. This type of construction is common in several parts of the U.S., including Alaska, the Puget Sound area of Washington, and other coastal areas around the country. Future flood adaptations in these places could use these local building traditions that evolved historically in response to flooding.



## NEW FOUNDATION

### Case Study



To learn about how this treatment was used at a historic property, refer to Case Study 3: Elevating a House on the Mississippi Gulf Coast on page 135.

### RECOMMENDED

### NOT RECOMMENDED

Constructing a new foundation that is compatible with the historic character of the building.	Constructing a new foundation that alters the overall proportions, massing, or scale of the building without making site alterations, such as regrading or adding elevated planting beds at the foundation, to minimize the appearance of the increased height.
Salvaging and reusing historic materials and features, like stone, brick, decorative vents, etc., from the historic foundation to construct the new foundation, particularly where visible.	Demolishing a historic foundation without saving salvageable materials for reuse.
Matching the new foundation to the visual characteristics of the historic foundation.	Designing a new foundation with a different architectural expression or appearance than the historic foundation.
Maintaining the visual appearance of piers or posts if a historically open foundation must be closed, such as using infill material that is recessed between piers and darker in color.	
	Selecting an open foundation for a building that historically had a closed crawlspace or basement without using design techniques to mask the change.

## NEW FOUNDATION

### RECOMMENDED

### NOT RECOMMENDED

<p>Using creative design techniques to minimize the perception of the change in height and appearance of the foundation of the historic building where compatible.</p> <p>Creating an illusion of solidity in tall open foundations by installing louvers or traditional lattice between piers or posts.</p> <p>Creating an illusion of a shorter foundation in wood-clad buildings by lowering the transition point from visible foundation materials to siding or weatherboard.</p>	<p>Designing new foundation treatments that mask the change in elevation to a point that alters the historic proportions of the building and changes its historic character.</p>
<p>Installing flood vents in solid foundation walls. Reusing historic foundation vents in highly visible locations where feasible.</p> <p>Selecting a compatible design and placement for new vents, or painting vents to blend with the foundation material.</p>	<p>Installing flood vents in a haphazard pattern or in locations that compete with the architectural rhythm or historic character of the building.</p>



(a) Photo: Courtesy of Julie Nucci and James Overhiser



(b) Photo: Courtesy of Julie Nucci and James Overhiser



(c) Photo: Courtesy of Julie Nucci and James Overhiser

[87] This Greek Revival temple-front residence in Owego, NY, was flooded in 2011. The building sits close to the ground, with little visible foundation, and it was substantially elevated to reduce flood risk. In this case, the lot size, massing, and style of the property enabled it to be raised on a new plinth foundation. This compilation of images shows (a) the original location; (b) during the flood, which inundated the first floor; and (c) after the building was repaired and elevated to its new height. The treatments to visually minimize the new height include a new foundation with flood vents and a change in the new stair design and materials: stone at the first run of stairs, then wood above a landing, that breaks the stairs into two smaller runs. Plantings and new fill also help disguise the change in height.





(a) Photo: Sean Clifford/NPS



(b) Photo: Tina Roach/NPS

[88] (a) Lattice, louvers, or any other screening at the foundation should be located between piers (and generally recessed within the opening). (b) Lattice attached to the surface of posts or piers and without finished edges is generally not compatible with the character of traditional buildings.



[89] This building in Louisiana has been raised on piers, but the foundation piers are set back from the face of the building, do not line up with the porch posts, and are visually undersized. New foundation piers, posts, and columns should have a visual appearance that more closely matches traditional foundation placement, size, and materials, even if that requires wrapping more modern, slender steel members with a masonry veneer. Photo: Roderick Scott

## NEW FOUNDATION

### RECOMMENDED

### NOT RECOMMENDED

<p>Retaining a substantial visual connection of the building to the ground when using an open foundation type.</p> <p>Using piers, posts, or columns large enough in width or circumference to visually support the structure, with the number and placement of piers, posts, or columns similar to that of traditional building practices or style, even if the new technology structurally requires fewer supports.</p>	<p>Failing to retain a substantial visual connection of the building to the ground when constructing a new, higher foundation.</p> <p>Selecting piers, posts, or columns that are visually undersized.</p> <p>Recessing all foundation materials; failing to extend historic columns, piers, or pilasters to the ground; or selecting a color scheme that creates an effect of a floating or unsupported building.</p>
<p>Relocating all utilities above the established flood risk level or protecting them in place with a watertight or impermeable enclosure. (See Protect Utilities)</p>	<p>Relocating systems and utilities to a historically significant interior space or a highly visible location.</p>
<p>Concealing, insulating, and protecting utility connections and any ducts or pipes located underneath the building in an open foundation.</p>	

[90] While the use of architectural screening is recommended, it should generally be divided by foundation piers that have a relationship to existing porch elements. In this case, there are too few visible piers, which creates a “floating” or disconnected visual effect. Those that can be seen are undersized relative to the building and gives the impression of inadequate support. *Photo: FEMA*





## ACCESS

### RECOMMENDED

### NOT RECOMMENDED

<p>Retaining the historic access locations and the approach or orientation to the building and its front or main entrance, where feasible.</p> <p>Keeping the physical features that identify the historic access points.</p>	<p>Abandoning historic primary entry points or significantly altering the path to a front or main entrance, when it can be avoided.</p>
<p>Matching new stairs, railings, or ramps with the style and features of the historic design; and salvaging and reusing historic features to the extent possible.</p>	



(a) Photo: Jennifer Parker/NPS



(b) Photo: Louissette Scott

[91] Providing access can be a particularly challenging issue when elevating a property. (a) In this example, although there was enough room on the lot to maintain the original stair configuration on the front of the building, the stairs were instead located under the porch. In some historic homes this is a traditional way to gain access between porch floors, but it is rare for the primary entrance and should be avoided at the front of the building unless it was a historic configuration. (b) For a building with a smaller mass, a new monumental, double-run staircase like this can easily overwhelm the original building and change its historic character.

## ACCESS

### RECOMMENDED

### NOT RECOMMENDED

<p>Constructing railings with traditional proportions, or, if a taller rail is necessary to meet code, retaining a horizontal rail at the traditional railing height.</p>	<p>Noticeably altering the design and proportions of a historic railing, so that it changes the historic character of the feature.</p>
<p>Breaking up the run of stairs with a landing or changing the design or materials, where appropriate, when a long run of stairs is required because of the change in elevation.</p> <p>Minimizing the perceived change in height by altering the material in the lower section of the stairs where terraces, raised planters, or regrading is used. Consider using stone, brick, or another material that blends in with the landscape.</p>	<p>Installing a long run of stairs that changes the historic character of the building and its site and setting if it can be avoided.</p>



[92] Matching new stairs with the style and features of the historic property is a recommended way to integrate the new foundation and access points. Concrete stairs with landscape planters referencing the new foundation material helps maintain a visual consistency. *Photo: p3elevation.com*

[93] This home has used elevated planting beds across the front of the house to bring the landscaping up higher and help screen the change in height. The stairs are stone, to blend in with the foundation and the planters, and a landing breaks up the long run of stairs at a point that aligns with the top of the planters. This provides a visual reference point for what was the original foundation height. The garage remains at grade level. *Photo: FloodSavvy.com*







(a) Photo: Roderick Scott



(b) Photo: Courtesy of Preservation Long Island



(c) Photo: Roderick Scott

[94] Providing access for people with impaired mobility is an important consideration as part of elevating a building. Ramps, lifts, and elevators have all been used successfully, but the placement and design of such new features should be compatible with the historic building. (a) It is best to run ramps along the side of the building rather than projecting in front of the building or located in the front yard. (b) A switchback ramp was constructed along a side elevation of a former lifesaving station in New York that is located on a constrained site between a public beach and a street. (c) This platform for a lift is located on a secondary elevation and detailed to blend with the historic railing of the porch.

## ACCESS

### RECOMMENDED

### NOT RECOMMENDED

<p>Providing access via an exterior elevator, lift, or ramp located and designed to be compatible with the historic character of the property. Floodproofing or locating the operating system of the elevator or lift above the established flood risk level.</p>	
<p>Minimizing the impact of ramps by installing them on secondary elevations when it does not compromise accessibility or by screening them with plantings on more visible locations.</p>	<p>Installing elevators, lifts, or incompatible ramps at a primary entrance or relocating primary entrances to secondary locations to provide access without assessing other options or locations.</p>



**(a)** Photo: Jeff Rosenberg/Mississippi Dept. of Archives and History



**(b)** Photo: Jeff Rosenberg/Mississippi Dept. of Archives and History

[95] At this Rosenwald School in Mississippi, (a) ramp access has been created within the footprint of a wide porch. (b) Locating a ramp behind the porch columns allows the new feature to blend in more with the historic architecture.



## ASSOCIATED SITE ALTERATIONS

(SEE ALSO SITE AND LANDSCAPE ADAPTATIONS)

RECOMMENDED	NOT RECOMMENDED
<p>Altering the landscape by adding fill or constructing raised planters to reduce the amount of new foundation that is visible.</p>	<p>Altering a landscape, garden, or archeological site that has historic significance in its own right or that is integral to the significance of the site in conjunction with the building.</p>
<p>Designing new driveways, parking areas, or patios so that they are as unobtrusive as possible and are compatible with the historic character of the property and the district.</p> <p>Using permeable surfaces where possible.</p>	<p>Adding new site features in prominent locations where they negatively impact the historic character of the building site or result in the loss of historic landscape features or plant materials.</p> <p>Adding new driveways and curb cuts to facilitate parking underneath an elevated house.</p>



(a) Photo: Robert Joseph Glazar/Alabama SHPO



(b) Photo: Evolve Vacation Rentals



(c) Photo: Grant files/Alabama SHPO

[96] Damaged by Hurricane Katrina, the Charles Marks house located along the Gulf Coast of Alabama used fill soils to camouflage the new foundation height on the water side while retaining the existing grade on the street side. (a) The original structure was supported by low, tapered concrete piers, approximately 18-inches high with an open crawlspace. (b) To bring this coastal structure into compliance with FEMA regulations, the house was elevated approximately 6.5 feet above its original height. (c) To mitigate the visual impact on the water-facing façade of the house, sand was used as fill on the site to raise the grade to within approximately 18 to 24 inches of the floor joists. The new grade gradually falls away toward the edges of the property. Retaining walls were necessary in some places to contain the sand.





[97] Fill soils can help to reduce the visible foundation. The new elevated height of this building in Cedar Rapids, IA, has been disguised by retaining the historic full-width front stair, adding a new center stair extending to the sidewalk, and filling the front of the lot to gently slope the grade to cover the new foundation on either side of the stair.

(a) Photo: Courtesy of the National Czech & Slovak Museum & Library, Cedar Rapids, Iowa



(b) Photo: Jennie Morton, Herringbone Freelance

[98] (a) This small Creole cottage was built in 1890. The house is located in a V-zone, an area designated by FEMA flood maps with a defined flood risk that includes additional hazards from waves. (b) After elevating the house, the new floor level is approximately thirteen feet above the surrounding grade. In addition to elevating the house, parking was created underneath the building, with a driveway placed directly in the center of the front yard. These changes emphasize the new elevated height of the building, impact its setting and appearance, and eliminate access to the front doors. These alterations significantly change the historic character of the building and do not meet the Standards.



(a) Photo: Rubion Construction Co., LLC



(b) Photo: Jennifer Parker/NPS

## IN HISTORIC DISTRICTS

### RECOMMENDED

### NOT RECOMMENDED

<p>Elevating buildings in historic districts that are similar in style and size to consistent heights if that is the character of the district while maintaining the historic spatial and architectural relationships between the buildings.</p>	<p>Elevating buildings in historic districts that are similar in style and size to different heights unless that is the historic character of the district.</p>
<p>Elevating buildings in districts with a tradition or history of elevating buildings.</p>	



[99] Consideration should be given to the overall impact on the historic character and appearance of a district. A significantly different or random change in foundation height is inconsistent with the historic character of this district. *Photo: Jennifer Parker/NPS*





[100] Elevating the interior floor level above the established flood risk requires several building alterations, including constructing a new floor, elevating any utilities, and creating access to the new floor level. The original floor to ceiling height must be substantial enough to allow space for the new elevated first floor. *Graphic: Blank Space LLC for NPS*

**COA-24-31216**

**3208 Tivoli  
Street**



**September 25, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-31216**

**Address:** 3208 Tivoli Street, RE#079279-0000

**Location:** South side of Tivoli Street between Lechlade Street and Day Avenue

**Owner:** Laura Hendrixson  
3208 Tivoli Street  
Jacksonville FL, 32205

Zachary Hendrixson  
3208 Tivoli Street  
Jacksonville FL, 32205

**Applicant:** Same as owner

**Year Built:** 1955 (Property Appraiser)

**Designation:** Non-contributing; Riverside/Avondale

**Request:** Alterations – Roof

**Summary Scope of Work:**

1. Replacement of shingled roof with new metal roof

**Recommendation:** **Approve with conditions**

**Conditions:**

1. New metal roofs shall be metal shingle, shingle imitation panel, 5V crimp, or standing seam (no corrugated panels).

**PROJECT DESCRIPTION**

COA-24-31216 seeks to replace a damaged shingled roof with a new standing seam metal roof. Due to the extremely low pitch of the roof (*1.8 pitch*) a shingled roof cannot be used as that would violate Florida Building Code Standards. 3208 Tivoli Street is a non-contributing, masonry vernacular home built in 1955.



### **STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Jacksonville Historic Districts and the Ordinance Code criteria found in Sections 307.106(k), and 307.106(l)

- As stipulated in the 2024 COA matrix, the change in historic roofing material (even on non-contributing structures) cannot be approved at the administrative level 307.106(e).
- 3208 Tivoli Street is a non-contributing home and as such is held to a different set of standards than a historic, contributing home. Due to this, as well as the fact that the home is relatively isolated (the home abuts only one other home) there would be little effect on the overall historic significance of the subject property or area. Additionally, the current roof is damaged and would not meet Florida Building Code Standards due to its low pitch. These factors combined make this scope of work consistent with Section 307.106(k) (1,2,3, and 4).
- Considering Section 307.106(l)(2,3, and 5), There would be little effect on the distinguishing features of the home given its relative lack of major distinguishing features

### **CODE CRITERIA AND DESIGN GUIDELINES**

#### **General Criteria**

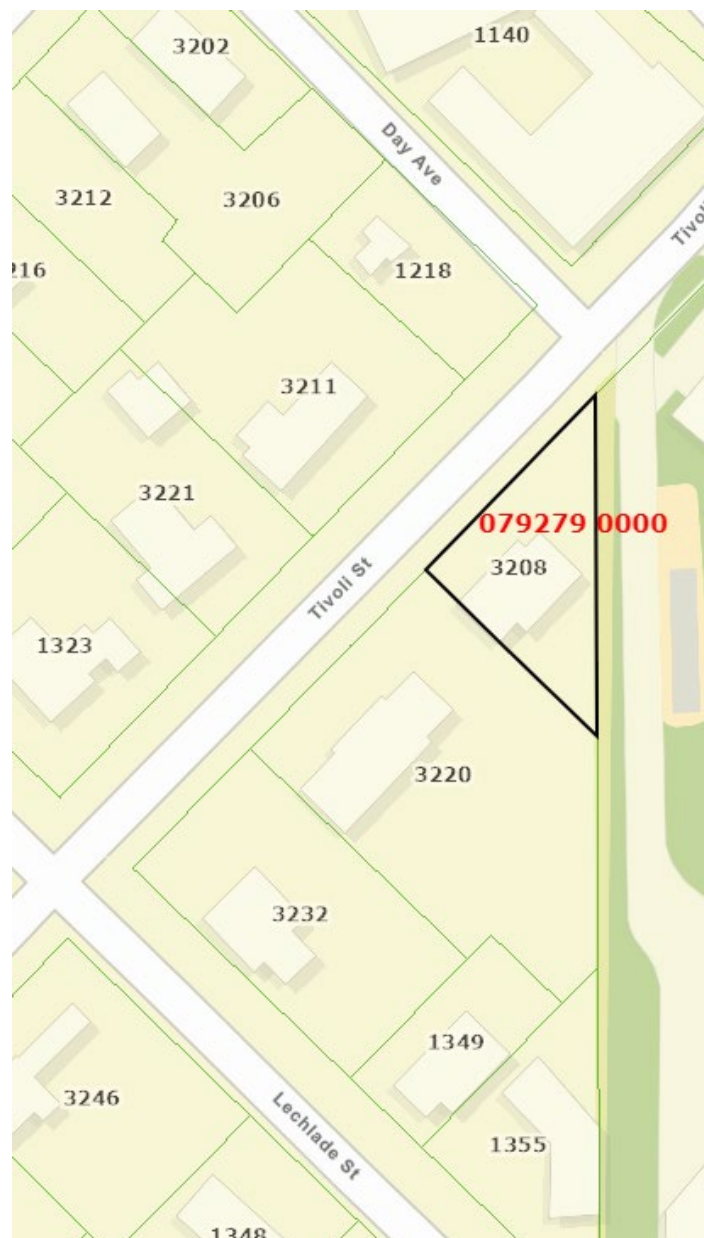
- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;
- 307.106(k)(3) – The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected;
- 307.106(k)(4) - Whether the plans may be carried out by the applicant within a reasonable period of time.

#### **Alterations**



- 307.106(l)(2) - The distinguishing original qualities or character of a building, structure, or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- 307.106(l)(3) - Each building, structure, and site shall be recognized as a product of its own time. An alteration which has no historical basis and which seeks to create an earlier appearance shall be discouraged.
- 307.106(l)(5) - Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site, shall be treated with sensitivity.

### LOCATION MAP



**PICTURE OF PROPERTY WITH POSTED SIGN**





# Application For Certificate Of Appropriateness

## Application Info

<b>Tracking #</b>	31216	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	08/20/2024	<b>Date Submitted</b>	08/20/2024

## Planning and Development Department Info

<b>COA #</b>	COA-24-31216
<b>Admin Review</b>	<input type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	8/30/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	9/25/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

## General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
HENDRIXSON	LAURA	
<b>Company Name</b>		
<b>Mailing Address</b>		
3208 TIVOLI STREET		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
912 256 0653		WIDGET1970@GMAIL.COM

## General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
HENDRIXSON	LAURA	
<b>Company/Trust Name</b>		
<b>Mailing Address</b>		
3208 TIVOLI STREET		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
9122560653		WIDGET1970@GMAIL.COM

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
HENDRIXSON	ZACHARY	
<b>Company/Trust Name</b>		
<b>Mailing Address</b>		
3208 TIVOLI STREET		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
9122560653		WIDGET1970@GMAIL.COM

**Description Of Property**

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map	RE#
	079279 0000

**Location Of Property**

**General Location**

Riverside/Avondale Historic District

<b>House #</b>	<b>Street Name, Type and Direction</b>	<b>Zip Code</b>
3208	TIVOLI ST	32205

**Type Of Improvement**

Addition  
 Driveway  
 New Construction  
 Accessory Structures  
 Alteration  
 Relocation  
 Window Replacement  
 Other  
 Fencing  
 Demolition  
 Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.  
(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

**Proposed Work**  
REPLACING SHINGLE WITH GALVALUME METAL ROOFING

**Addition Information**

**Is this a violation?** Check the box if it is.

**If you have been working with a planner** choose one from the list

**Reroof/Minor Repairs**

For reroofs and minor repairs there are no required documents. However, once a planner is assigned and reviews the request, they may need additional documents or pictures to process your request.

**Additional Documents Provided**



## Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.



ONE CITY. ONE JACKSONVILLE.

# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: 9/10/24  
Address: 3208 Tivoli St.  
Jacksonville, FL 32205

COA#: 24-31216  
Owner: Laura Hendrixson

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application 24-31216 were posted on the property/site located at:

079279-0000  
Real Estate Number(s)

3208 Tivoli St.  
Street Address  
Jacksonville, FL 32205  
City, State Zip Code

Printed Name Laura Hendrixson

Signature Laura Hendrixson

Dated this 10<sup>th</sup> day of September 2024





BUILDING CHARACTERISTICS			
CATEGORY	TYPE	%	PTS
Exterior Wall	15 CONCRETE BLK	75	26.00
Exterior Wall	8 HORIZONTAL LAP	25	9.00
Roof Struct	3 GABLE OR HIP	100	6.00
Roofing Cover	3 ASPH/COMP SHNG	100	4.00
Interior Wall	3 PLASTERED	100	31.00
Int Flooring	12 HARDWOOD	75	10.00
Int Flooring	11 CER CLAY TILE	25	4.00
Heating Fuel	4 ELECTRIC	100	1.00
Heating Type	4 FORCED-DUCTED	100	4.00
Air Cond	3 CENTRAL	100	7.00

0100 Single Family

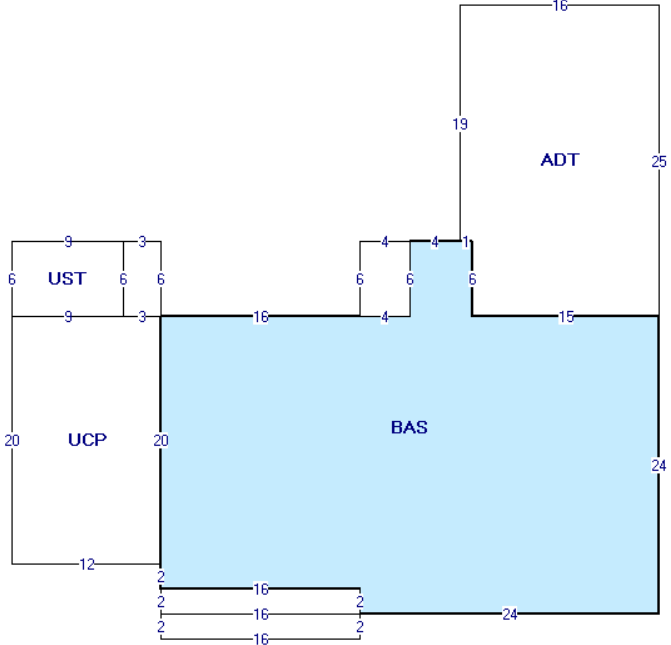
\*\* VALUE SUBJECT TO CHANGE \*\*

CATEGORY	UNITS	ADJ
Stories	1.00	0
Bedrooms	4.00	0
Baths	2.00	0
Rooms / Units	1.00	0

BASE RATE ADJ		ADJ
Quality Adjustment	0.9000	
Mkt/Design Factor	1.0000	
Size Adj.	1.0100	
<b>TOTAL ADJUSTED POINTS</b>		<b>105</b>
DEPRECIATION ADJ		ADJ

TYPE	STYLE	CLS	QUA	HX %	NHX %	LOC	% COMP
0101	01	3	02	100.00	0.00	1.00	100
REPL. COST NEW		AYB	EYB	DT	NORM	% GOOD	
193,415		1955	2000	R2	25.50	74.50%	
SAR	AREA	B	H	P.of B.	EFF. AREA	DPR VALUE	
ADT	418	X	90		377	38,122	
BAS	958	X	100		958	96,872	
FOP	32		30		10	1,011	
UCP	240		20		48	4,854	
UOP	50		20		10	1,011	
UST	54		40		22	2,225	
1,752		1,376		1,425		\$144,094	
ACREAGE		0.16		PRICE/SF		101.12	

BUILDING: 1 AKA:  
SITE ADDRESS: 3208 TIVOLI ST JACKSONVILLE 32205 0101 SFR 1 STORY



Duval County Property Appraisers Office Tax Dist USD1				
VALUE SUMMARY				
PRIMARY VALUATION METHOD	CAMA			
BUILDING VALUE	144,094			
EXTRA FEATURE VALUE	21,229			
TOTAL MARKET LAND VALUE	60,480			
MARKET VALUE OF AG LAND	0			
TOTAL LAND VALUE AG + COMMON	0			
MARKET VALUE	225,803			
ASSESSED VALUE	204,525			
CAP BASE YEAR	2021			
TAXABLE VALUE	154,525			
EXEMPTIONS	HB HX			
TOTAL EXEMPTIONS VALUE	50,000			
SENIOR EXEMPTION VALUE	0			
SR/HISTORIC TAXABLE VALUE	N/A			

PERMIT NO.	TP	ST.	DESCRIPTION	EST VALUE	ISSUE DATE
B19246105	POOL	C	POOL 4000 GAL	20,000	12/10/2019
B19190848	ADDN	C	ROOM ADDN	63,000	5/9/2019

**BUILDING DIMENSIONS**  
UCP:12,25:=W12 S20 E12 N20 \$ ADT2021:36,0:=S19 E1 S6 E15 N25 W16 \$ BAS:52,25:=W15 N6 W5 S6 W20 S22 E16 S2 E24 N24 \$ ADT:32,19:=W4 S6 E4 N6 \$ UST:9,25:=W9 N6 E9 S6 \$ FOP:12,47:=S2 E16 N2 W16 \$ UO P:12,49:=S2 E16 N2 W16 \$ UOP:12,25:=W3 N6 E3 S6 \$

**BUILDING NOTES**

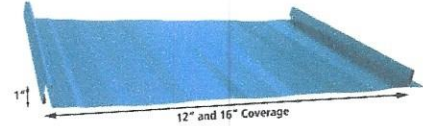
L N	VOLUME / YEAR	PAGE / CLERK	DATE OF SALE	I N	Q U	V I	R E	SALES PRICE	NOTE AMOUNT	MAC	MAC AMOUNT	GRANTOR	GRANTEE	SALES NOTE
1	18771	02375	4/22/2019	WD	U	I	14	100		0	N	SINCLAIR LAURA D	SINCLAIR LAURA D ET AL	20191001
2	17859	02144	1/27/2017	WD	Q	I	02	160000		0	N	CLOCKTOWER INVESTMENTS	SINCLAIR LAURA D	20170221
3	17687	00676	8/17/2016	WD	U	I	03	117100		0	N	BRAVO LUIS	CLOCKTOWER INVESTMENTS	20160826
4	14083	02289	7/10/2007	WD	Q	I	02	137500		0	N	LIMA ROY A	BRAVO LUIS	20070808

L N	OB/XF CODE	DESCRIPTION	BLD	HX %	NHX %	LENGTH	WIDTH	UNITS	GRADE	FACTOR	UNIT PRICE	ADJ UNIT PRICE	ORIG COND	ACTUAL YEAR	EFF YEAR	YEAR ON ROLL	% COND	OB/XF MKT VALUE	APPRaisal DATES DATE	APPRaised BY	
1	POLR3	Pool	1	100.00	0.00	0	0	1.00	1	100	31,450.00	23,587.50	100	2020	2020	2021	90	21,229	BUILDING LAND LINES VALUE REVIEW TRIENNIAL INCOME	1/29/2020 6/5/1989 6/24/2022 1/4/2017	ZRS PTC DAP KEK

L T	N	USE CODE	LAND USE DESCRIPTION	HX %	NHX %	R D	LOC ZONE	FRONT	DEPTH	SIZE FACTOR	UNITS	UNIT TYPE	D T	DPTH FACT	COND FACTOR	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE
C	1	0100	RES LD 3-7 UNITS PER AC	100.00	0.00		RLD-60	80.00	90.00	100.00	80.00	F	1	0.84	0.90	1,000.00	756.00	60,480

**PARCEL NOTES**

GulfLok™



Gulf Coast Supply & Manufacturing 14229 SW 2<sup>nd</sup> PI G30, Newberry FL 32669

**Product Description:** Nailstrip standing seam panel with nominal 16" max coverage and nominal rib height of 1".

**Product Material:** 24ga (min) or 26ga (min) steel (corrosion resistant per FBC 1507.4.3 where required), or nominally 0.032" aluminum or thicker or nominally 0.040" aluminum or thicker.

**Fastener:** #10 x 1-inch or #12 x 1-inch fastener *Compliant with FBC 1506.6 where required.*

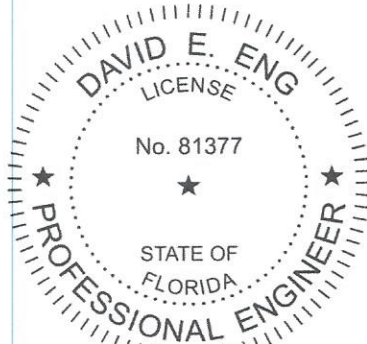
**Maximum Allowable Loads & Installation Requirements:**

System No	Deck/Substrate	Roof Panel	Panel Attachment	Allowable Pressure (psf)
GL-1	15/32" (min) plywood or 3/4" (min) wood plank	26ga (min) GulfLok panel with 16" (max) coverage.	#12 fastener in every slot (±5-3/16" o.c.). Install over self-adhering underlayment	-61
GL-2	15/32" (min) plywood or 3/4" (min) wood plank	26ga* (min) GulfLok panel with 16" (max) coverage.	#10 fastener in every slot, ±5-1/8" o.c.	-63.5
GL-3	15/32" (min) plywood or 3/4" (min) wood plank	26ga* (min) GulfLok panel with 16" (max) coverage.	#10 fastener in every slot, ±5-1/8" o.c. with Titebond Metal Roof Sealant or similar applied to male rib.	-121.75
GL-4	15/32" (min) plywood or 3/4" (min) wood plank	26ga* (min) GulfLok panel with 16" (max) coverage.	24ga, 24" long clip along entire panel length with #10 fasteners through clip into every slot, ±5-1/8" o.c.	-161

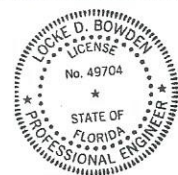
A factor of safety of 2 has been applied.  
\*Grade 80

**Evaluated by:**

David Eng, PE  
Timberlake Cove, LLC  
1317 Edgewater Dr, Ste 2339  
Orlando FL  
FL PE 81377 | FL CA 37675  
[www.TimberLakeCove.com](http://www.TimberLakeCove.com)



Digitally signed by David E Eng  
Date: 2024.05.01  
21:33:49-04'00'



Digitally signed by Locke D. Bowden  
Date: 2024.05.16  
13:21:56 -05'00'



METAL ROOFING PRODUCTS



1.888.393.0335

[www.GulfCoastSupply.com](http://www.GulfCoastSupply.com)

This item has been digitally signed and sealed by D.E. Eng, PE, on the date indicated. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies

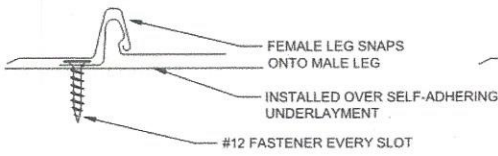


Maximum Allowable Loads & Installation Requirements:

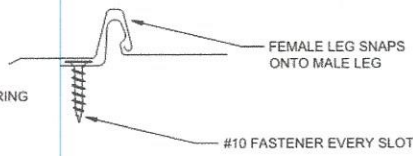
System No	Deck/Substrate	Roof Panel	Panel Attachment	Allowable Pressure (psf)
GL-5	15/32" (min) plywood or 3/4" (min) wood plank	24ga (min) GulfLok panel with 16" (max) coverage.	#10 fastener in every other slot, ±10-1/4" o.c.	-81.75
GL-6	15/32" (min) plywood or 3/4" (min) wood plank	24ga (min) GulfLok panel with 16" (max) coverage.	#10 fastener in every slot, ±5-1/8" o.c.	-96.75
GL-7	15/32" (min) plywood or 3/4" (min) wood plank	Nominally 0.032" or thicker aluminum GulfLok panel with 16" (max) coverage.	#10 fastener in every slot, ±5-1/8" o.c.	-78.5
GL-8	15/32" (min) plywood or 3/4" (min) wood plank	Nominally 0.032" or thicker aluminum GulfLok panel with 16" (max) coverage.	#10 fastener in every slot, ±5-1/8" o.c. with Titebond Metal Roof Sealant or similar applied to male rib.	-116
GL-9	19/32" (min) plywood or 3/4" (min) wood plank	Nominally 0.040" or thicker aluminum GulfLok panel with 16" (max) coverage.	#10 fastener in every slot, ±5-1/2" o.c. with panel installed over self-adhering underlayment	-108.5

A factor of safety of 2 has been applied.

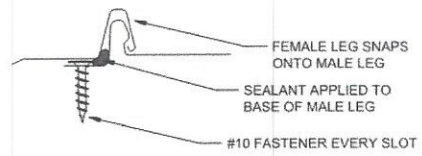
**GL-1**



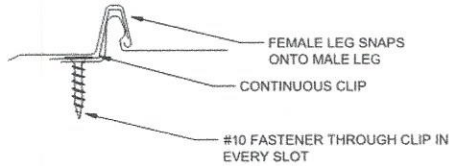
**GL-2**



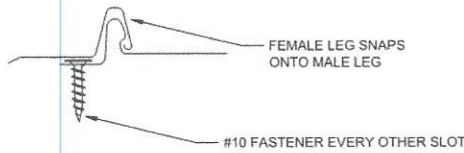
**GL-3**



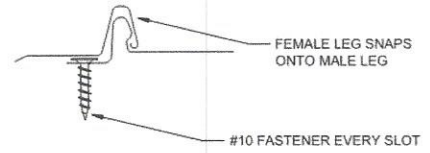
**GL-4**



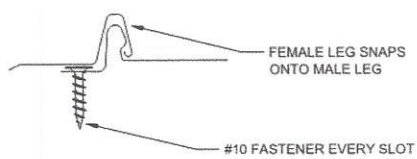
**GL-5**



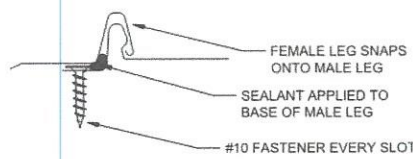
**GL-6**



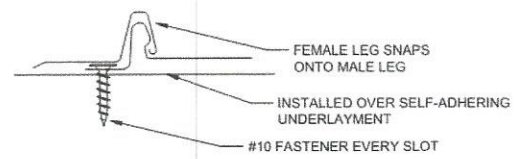
**GL-7**



**GL-8**



**GL-9**



**COA-24-31218**

**3011 Riverside  
Avenue**



**September 25, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-31218**

**Address:** 3011 Riverside Avenue, RE# 078014-0000

**Location:** North side of Riverside Avenue between McDuff Avenue and Donald Street

**Owner:** Shawn McCormick  
 3011 Riverside Ave  
 Jacksonville FL, 32205

**Applicant:** Same as owner

**Year Built:** 1906 (Florida Master Site File)

**Designation:** Contributing; Riverside/Avondale

**Request:** Alterations – Reroof

**Summary Scope of Work:**

1. Replacement of metal shingle roof with new shingle roof

**Recommendation:** **Approve with Conditions**

**Conditions:**

1. If any deteriorated wood visible from the exterior needs to be repaired (rafter ends, soffits, fascia, etc.) During the course of the work, the repairs shall be made with like materials. If wholesale replacement is necessary and the existing materials are not historic, then the replacement materials shall be historically appropriate.
2. The roofing materials shall not be stacked on the roof in one location. Historic structures are often fragile, and the roof cannot support the weight of a large stack of shingles in one location. Severe damage to the structure may result.
3. Only flat roofs shall have modified bitumen or torch down installed.
4. The new shingles utilized on the roof shall be a gray color

**PROJECT DESCRIPTION**

COA-24-31216 seeks to replace its current metal shingle roof with new, antique silver colored architectural shingles. This is to replace the original metal shingles and to match the shingles utilized on a rear accessory structure. 3011 Riverside Avenue is a contributing home in the Riverside/Avondale district. Built in 1906, it is a Colonial Revival Style home with a hip roof. It has a painted masonry exterior on the first floor and shake siding on the second floor. A previous

Certificate of Appropriateness (COA-21-26047) was filed and approved, which allowed for the demolition of an old carriage house and the construction of a new one. This new construction was approved by the Commission for shingles.



### **STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Jacksonville Historic Districts and the Ordinance Code criteria found in Sections 307.106(k) and 307.106(l).

- The proposed change from metal shingles to antique silver colored architectural shingles would have an overall minimal effect on the site as the new color is extremely similar to the original roof. Section 307.106(k)(1 and 3).
- Pursuant to Section 307.106(l) (2,) There would be a minimal effect on the distinguishing original qualities of the subject property given that similar looking material will be used. The home also has a high roof, blocked by trees, thereby making it even less of a distinguishing feature.
- Similarly, given that the rear accessory structure utilizes gray architectural shingles, the altering of the main home's roof from metal to architectural shingles would ensure compatibility between the two structures for the future. Section 307.106(l)(4)

### **CODE CRITERIA AND DESIGN GUIDELINES**



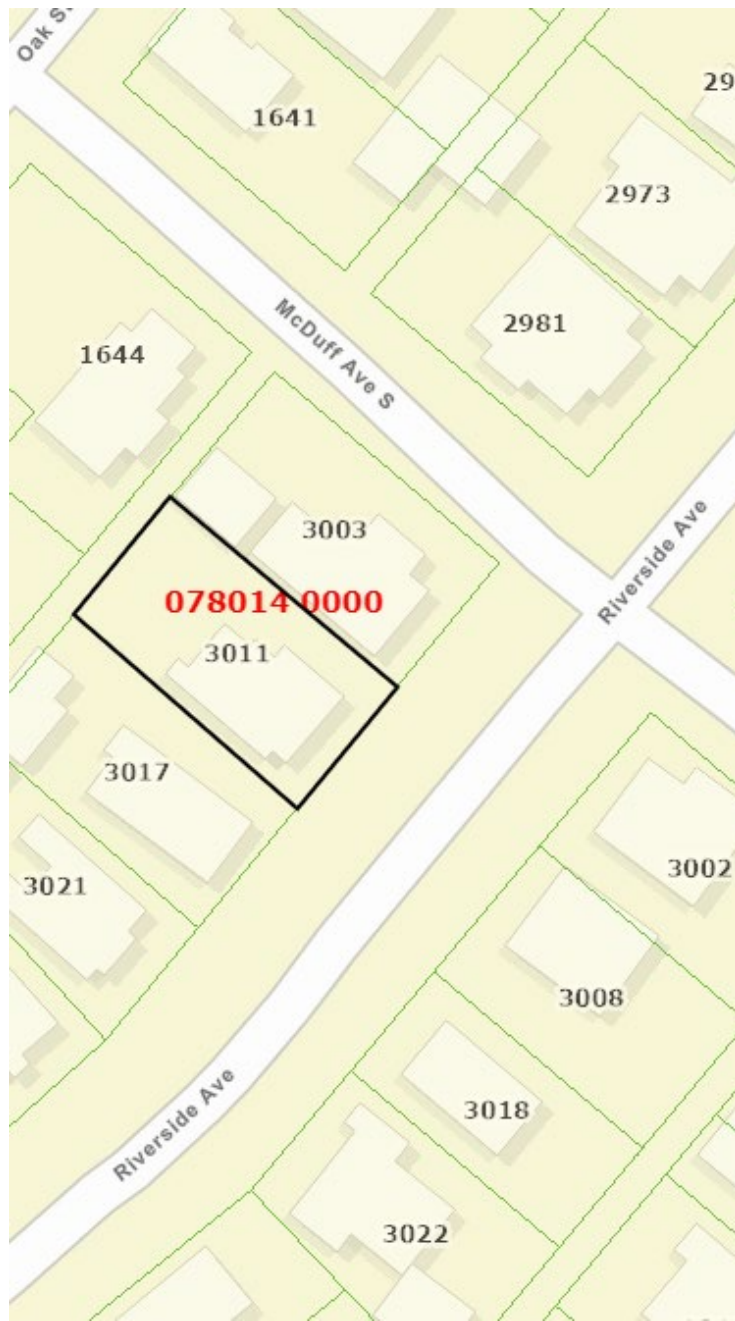
**General Criteria**

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k)(3) – The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected;

**Alterations**

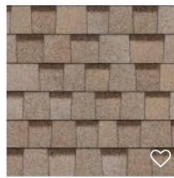
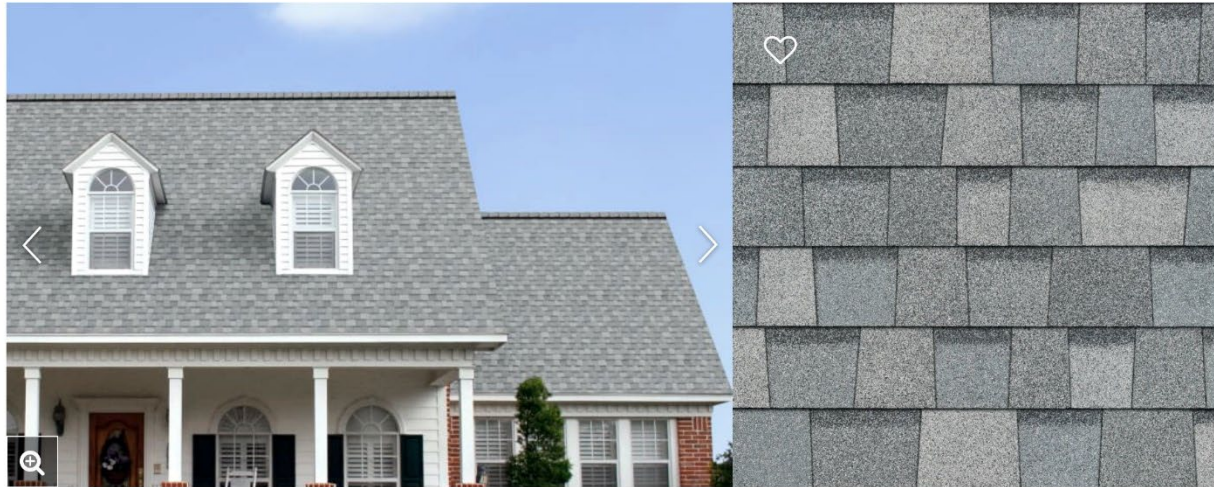
- 307.106(l)(2) - The distinguishing original qualities or character of a building, structure, or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- 307.106(l)(4) - Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

LOCATION MAP





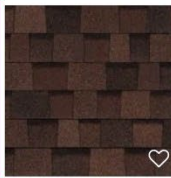
**SAMPLE OF NEW ROOFING MATERIAL**



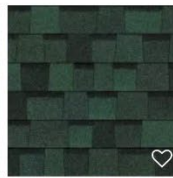
**Amber**  
Warm light tan shingles with light tan, white, gray and brown granules



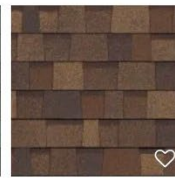
**Antique Silver**  
Neutral light gray shingles achieved by using a mix of white and gray granules



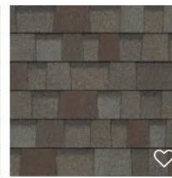
**Brownwood**  
Dark warm brown shingles with prominent black, brown and orange granules



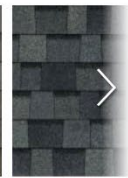
**Chateau Green**  
Dark green shingles achieved by a mix of intense green, dark grey and black granules



**Desert Rose**  
Dark warm brown shingles with prominent golden buff, red-brown, and gray granules



**Driftwood**  
Medium neutral brown shingles with a prominent mix of dark and medium brown, sage green, and golden tan granules



**Estate Gray**  
Medium warm gray shingles with a green undertone achieved by mixing prominent light and dark, medium

**PICTURE OF PROPERTY WITH POSTED SIGN**





## Application For Certificate Of Appropriateness

### Application Info

<b>Tracking #</b>	31218	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	08/20/2024	<b>Date Submitted</b>	08/20/2024

### Planning and Development Department Info

<b>COA #</b>	COA-24-31218
<b>Admin Review</b>	<input type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	8/30/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	9/25/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A

#### Admin Details

REROOF HOME WITH GRAY ARCHITECTURAL SHINGLES TO MATCH SHINGLE STYLE AND COLOR USED ON NEW CONSTRUCTION APPROVED IN 2022. INCLUDES REPLACEMENT OF EXISTING GUTTER SYSTEM; COLOR AND SIZE OF GUTTER AND DOWNSPOUTS TO MATCH EXISTING.

#### JHPC Details

N/A

### General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
MCCORMICK	SHAWN	
<b>Company Name</b>		
<b>Mailing Address</b>		
3011 RIVERSIDE AVE		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 343 1200		MCCORMICK.SHAWN@GMAIL.COM

### General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
MCCORMICK	SHAWN	
<b>Company/Trust Name</b>		
<b>Mailing Address</b>		
3011 RIVERSIDE AVE		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
9043431200		MCCORMICK.SHAWN@GMAIL.COM

### Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### ####)

Map	RE#
	078014 0000

### Location Of Property

#### General Location

Riverside/Avondale Historic District

**House #**

3011

**Street Name, Type and Direction**

RIVERSIDE AVE

**Zip Code**

32205

### Type Of Improvement

- Addition**    **Driveway**    **New Construction**    **Accessory Structures**  
 **Alteration**    **Relocation**    **Window Replacement**    **Other**  
 **Fencing**    **Demolition**    **Reroof/Minor Repairs**

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.  
(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

#### Proposed Work

REROOF HOME WITH GRAY ARCHITECTURAL SHINGLES TO MATCH SHINGLE STYLE AND COLOR USED ON NEW CONSTRUCTION APPROVED IN 2022. INCLUDES REPLACEMENT OF EXISTING GUTTER SYSTEM; COLOR AND SIZE OF GUTTER AND DOWNSPOUTS TO MATCH EXISTING.

### Addition Information

**Is this a violation?** Check the box if it is.

**If you have been working with a planner** choose one from the list

### Reroof/Minor Repairs

For reroofs and minor repairs there are no required documents. However, once a planner is assigned and reviews the request, they may need additional documents or pictures to process your request.

### Additional Documents Provided

### Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with



comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.



# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY. ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: 09.03.24  
Address: 3011 RIVERSIDE AVE  
JACKSONVILLE FL 32205

COA#: COA-24-31218  
Owner: SHAWN M'CORMICK

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application COA-24-31218 were posted on the property/site located at:

078014-0000  
Real Estate Number(s)

3011 RIVERSIDE AVENUE JACKSONVILLE FL 32205  
Street Address

JACKSONVILLE FL 32205  
City, State Zip Code

Printed Name SHAWN M'CORMICK

Signature Shawn

Dated this 3 day of SEPTEMBER, 20 24





BUILDING CHARACTERISTICS			
CATEGORY	TYPE	%	PTS
Exterior Wall	20 FACE BRICK	50	23.00
Exterior Wall	14 WOOD SHINGLE	50	19.00
Roof Struct	3 GABLE OR HIP	100	6.00
Roofing Cover	12 MODULAR METAL	100	5.00
Interior Wall	3 PLASTERED	100	31.00
Int Flooring	12 HARDWOOD	100	13.00
Heating Fuel	4 ELECTRIC	100	1.00
Heating Type	4 FORCED-DUCTED	100	4.00
Air Cond	3 CENTRAL	100	7.00

0100 Single Family

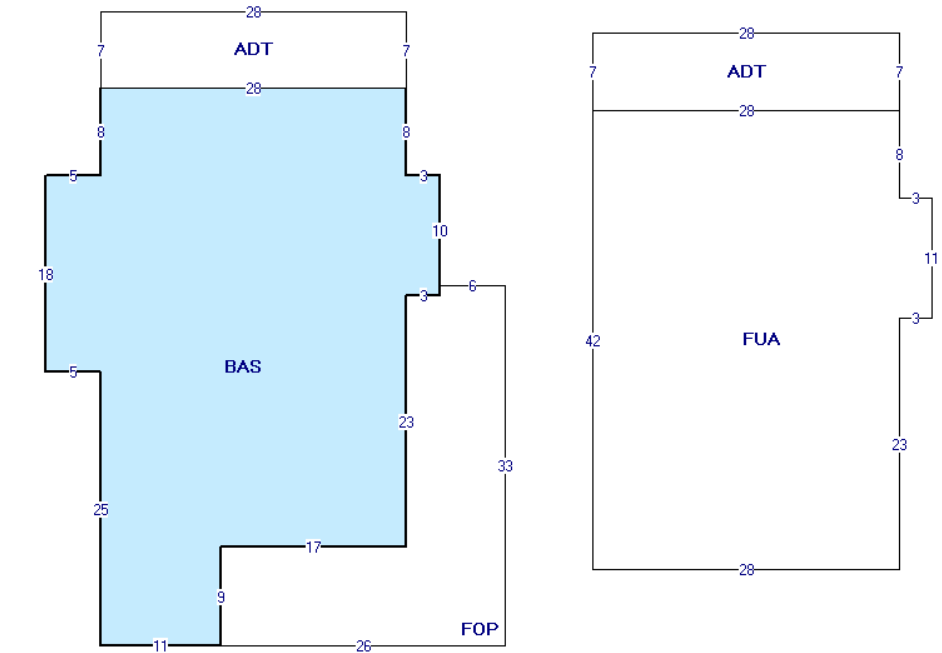
\*\* VALUE SUBJECT TO CHANGE \*\*

CATEGORY	UNITS	ADJ
Stories	2.00	0
Bedrooms	4.00	0
Baths	2.50	0
Rooms / Units	1.00	0

BASE RATE ADJ		ADJ
Quality Adjustment		1.0000
Mkt/Design Factor		1.0000
Size Adj.		0.9400
<b>TOTAL ADJUSTED POINTS</b>		<b>110</b>
DEPRECIATION ADJ		ADJ

TYPE	STYLE	CLS	QUA	HX %	NHX %	LOC	% COMP
0108	01	4	03	100.00	0.00	1.00	100

SAR	AREA	B	H	P. of B.	EFF. AREA	DPR VALUE
ADT	392		X	90	352	48,962
BAS	1,398		X	100	1,398	194,456
FOP	447			30	134	18,639
FUA	1,209		X	95	1,149	159,821
<b>3,446</b>	<b>2,999</b>			<b>3,033</b>	<b>\$421,878</b>	



BUILDING: 1 AKA:  
 SITE ADDRESS: 3011 RIVERSIDE AVE JACKSONVILLE 32205 0108 SFR CLASS 2

L N	VOLUME / YEAR	PAGE / CLERK	DATE OF SALE	I N	Q U	V I	R E	SALES PRICE	NOTE AMOUNT	MAC	MAC AMOUNT	GRANTOR	GRANTEE	SALES NOTE
1	16661	01747	1/10/2014	WD	Q	I	01	455000		0	N	MCCULLOUGH BARRY G	MCCORMICK SHAWN CHARLES	20140116
2	08367	00813	6/6/1996	WD	Q	I	02	161500		0	N	JONES EDWARD S		PHONE
3	07172	01639	8/26/1991	QC	U	I	11	100		0	N			
4	06038	00540	11/4/1985	WD	U	I	01	122900		0	N			

L N	OB/XF CODE	DESCRIPTION	BLD	HX %	NHX %	LENGTH	WIDTH	UNITS	GRADE	FACTOR	UNIT PRICE	ADJ UNIT PRICE	ORIG COND	ACTUAL YEAR	EFF YEAR	YEAR ON ROLL	% COND	OB/XF MKT VALUE	APPRaisal DATES	APPRAISED BY
1	FPMR7	Fireplace Masonry	1	100.00	0.00	0	0	2.00	6	100	4,483.75	7,846.56	100	1914	1914		20	3,139	3/16/2023	JCR
2	DKWR2	Deck Wooden	1	100.00	0.00	35	8	280.00	3	100	31.65	31.65	100	1990	2005		20	1,772	5/14/1987	LHA
3	DKWR2	Deck Wooden	1	100.00	0.00	0	0	144.00	3	100	31.65	31.65	100	1990	2005	2008	20	912	7/18/2023	BEA

L N	USE CODE	LAND USE DESCRIPTION	HX %	NHX %	R D	LOC ZONE	FRONT	DEPTH	SIZE FACTOR	UNITS	UNIT TYPE	D T	DPH FACT	COND FACTOR	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE
C	1	0100	RES LD 3-7 UNITS PER AC	100.00	0.00		RLD-60	65.00	130.00	100.00	65.00	F	1	0.98	2,750.00	2,695.00	175,175

L N	DATE	BLD	USER ID	CD	PARCEL NOTES

Duval County Property Appraisers Office Tax Dist USD1				
VALUE SUMMARY				
PRIMARY VALUATION METHOD	CAMA			
BUILDING VALUE	421,878			
EXTRA FEATURE VALUE	5,823			
TOTAL MARKET LAND VALUE	175,175			
MARKET VALUE OF AG LAND	0			
TOTAL LAND VALUE AG + COMMON	0			
MARKET VALUE	602,876			
ASSESSED VALUE	452,880			
CAP BASE YEAR	2015			
TAXABLE VALUE	402,880			
EXEMPTIONS	HB HX			
TOTAL EXEMPTIONS VALUE	50,000			
SENIOR EXEMPTION VALUE	0			
SR/HISTORIC TAXABLE VALUE	N/A			

PERMIT NO.	TP	ST.	DESCRIPTION	EST VALUE	ISSUE DATE
B22526554	WRKG	C	DEMO GRGE APT	2,500	6/2/2022
B22498731	GRGE	P	GARAGE	20,000	4/25/2022
B16763836	ALTS	C	KITCHEN REMODEL	25,000	3/15/2016

**BUILDING DIMENSIONS**  
 ADT2017:50,2:=S7 E28 N7 W28 \$ FOP:16,58:=E26 N33  
 W6 S1 W3 S23 W17 S9 \$ BAS:5,58:=N25 W5 N18 E5 N8  
 E28 S8 E3 S11 W3 S23 W17 S9 W11 \$ ADT:33,7:=N7 W2  
 8 S7 E28 \$ FUA:78,51:=W28 N42 E28 S8 E3 S11 W3 S2  
 3 \$ .

BUILDING NOTES	

***D.***

***Previously  
Deferred  
Items to be  
Heard***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



**COA-24-30895**

**2026/2030**

**Walnut Street**

**August 28, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-30895**

**Addresses:** 2026 Walnut Street, RE# 072113-0000; and  
 2030 Walnut Street, RE# 072112-0000

**Location:** West side of Walnut Street; between East 10<sup>th</sup> Street and Carmen Street

**Owner:** Felicia D. Luke  
 4 Loco Investors LLC  
 140 West 9th Street  
 Jacksonville, Florida 32206

**Applicant:** Joseph J. Markusic  
 Glory Homes, Inc.  
 7027 Alpine Street  
 Jacksonville, Florida 32208

**Years Built:** 2026 Walnut Street, c. 1952 (*Property Appraiser*)  
 2030 Walnut Street, c. 1909 (*Property Appraiser*)

**Designations:** 2026 Walnut Street, Springfield, Non-contributing  
 2030 Walnut Street, Springfield, Contributing

**Request:** Alterations – Accessibility Ramp and Hardscaping

**Summary Scope of Work:**

1. New accessibility ramp on 2026 Walnut Street
2. Repave secondary walkway on 2030 Walnut Street

**Recommendation:    **Approve with Conditions****

**Conditions:**

1. The location and design shall be substantially consistent with the elevation plan and site plan dated July 29, 2024.
2. The ramp shall be a non-permanent feature and shall not obscure significant architectural details.
3. The railing system shall be made of wood or wood composite materials and the spindles shall be centered between an upper and lower rail with no exposed ends (no vinyl or PVC).
4. The wood ramp shall be painted or stained.

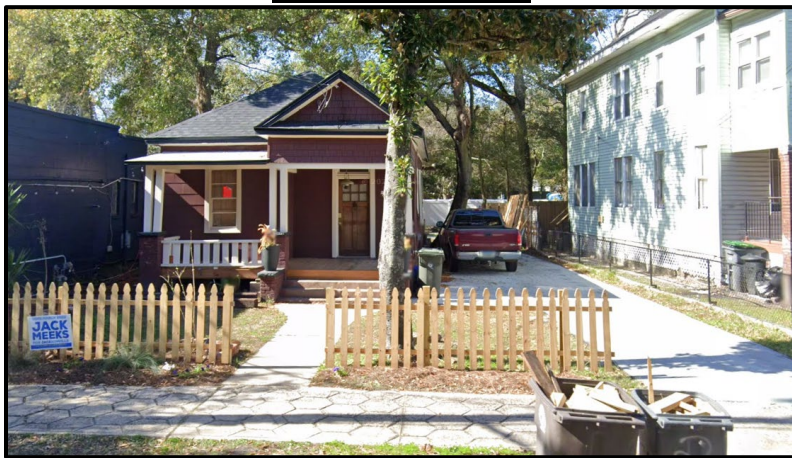


5. The secondary walkway shall be poured concrete
6. Any existing sidewalk shall not be altered or disturbed in any way.

### **2026 Walnut Street**



### **2030 Walnut Street**



*(Google, 2023)*

### **PROJECT DESCRIPTION**

COA-24-30895 seeks to install a new accessibility ramp along the rear (west) elevation of a one-story, non-contributing, Masonry Vernacular style structure located at 2026 Walnut Street (RE: 072113-0000). Additionally, the applicant seeks to repave a secondary walkway along the right (north) and rear (west) elevations of a one-story, contributing, Frame Vernacular style structure located at 2030 Walnut Street (RE: 072112-0000). Both properties are interior lots.

As designed, the proposed ramp at 2026 Walnut Street will be constructed of wood decking, handrails, and vertical posts. It measures approximately four (4) feet tall, thirty-four (34) feet and five (5) inches long, and five (5) feet wide. The one-story, Masonry Vernacular style structure is currently used as a bar, and the new ramp will connect to and land on property 2030 Walnut Street at the left (south) side, towards the rear. Regarding the proposed secondary walkway

repaving at 2030 Walnut Street, the design includes removing the existing poured concrete walkway and repaving it with new poured concrete in the same dimensions. It measures forty-two (42) inches wide with a flare of forty-eight (48) inches wide at the existing driveway, and the walkway connects to the rear right property line of property 2026 Walnut Street. The one-story Frame Vernacular style structure at 2030 Walnut Street was originally constructed as a single-family home, and it will be used as a restaurant.

Pursuant to the authorities granted in the 2024 COA Matrix, accessibility ramps on non-residential structures and secondary walkways that are wider than three (3) feet must be reviewed and approved by the Jacksonville Historic Preservation Commission.

### **STAFF SUMMARY AND ANALYSIS**

Staff considered the Secretary of the Interior's Standards for Rehabilitation and the Ordinance Code criteria found in Sections 307.106(k) and 307.106(l). The following is Staff's analysis:

- Consistent with Section 307.106(k)(3) and Sections 307.106(l)(1 and 3), the applicant's scope of work requires minimal change to the defining characteristics of both the contributing and non-contributing structures. The accessibility ramp is an effort to have the structure become code-compliant for the proposed use, while the secondary walkway is another pedestrian thoroughfare for patrons. As designed, the wood ramp along the rear and the poured concrete walkway allows for the historic structure at 2030 Walnut Street to be viewed as distinct and original to the site.
- As designed, the ramp will be constructed of wood with vertical handrails and the secondary walkway will be poured concrete. Installation of the ramp and walkway will cause minimal, if any, damage to the historic structures and character of the properties. As such, this scope of work is consistent with Section 307.106(l)(1 and 2).
- The Springfield District Design Guidelines acknowledge that throughout time, the needs of the users of historic structures in the district change. The "Doors and Entrances" section of the Design Guidelines notes, "Sometimes new entrances are required for practical reasons or to satisfy code requirements." The alteration of the entrances of the building and sites will allow the structures to be accessed in a variety of ways, allow for improved ingress and egress, and further the commercial uses of the structures. The proposed alterations will be similar to other accessibility ramps on structures, and other secondary walkways on sites, within the historic district in both material and design. As such, the proposed work is consistent with the Design Guidelines and Section 307.106(k)(1).
- As demonstrated by the site plan and elevations dated July 29, 2024, the design of the accessibility ramp and secondary walkway is differentiated from the old in terms of material, design, and location, but are compatible alterations of the historic structures and character of the properties. This retains the architectural integrity of both the contributing and non-contributing structures. As such, the scope of work is found to be consistent with Standards 2 and 9 of the *Secretary of the Interior's Standards for Rehabilitation* and Section 307.106(k)(2).



For these reasons, it is the position of the Planning and Development Department that the proposed work under the stated conditions is consistent with:

1. Section 307.106(k) General Standards: 1, 2, 3
2. Section 307.106(l) Guidelines on "Alterations": 1, 2, 3
3. Secretary of the Interior's Standards for Rehabilitation: 2 and 9

## **CODE CRITERIA AND DESIGN REGULATIONS**

### **General Criteria**

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;
- 307.106(k)(3) - The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected;

### **Alterations**

- 307.106(l)(1) - Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building structure, or site.
- 307.106(l)(2) - The distinguishing original qualities or character of a building, structure, or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- 307.106(l)(3) - Each building, structure, and site shall be recognized as a product of its own time. An alteration which has no historical basis and which seeks to create an earlier appearance shall be discouraged.

### **Design Guidelines, "Doors and Entrances"**

- (2) - The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (9) - New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.





**PICTURE OF PROPERTY WITH POSTED SIGN**

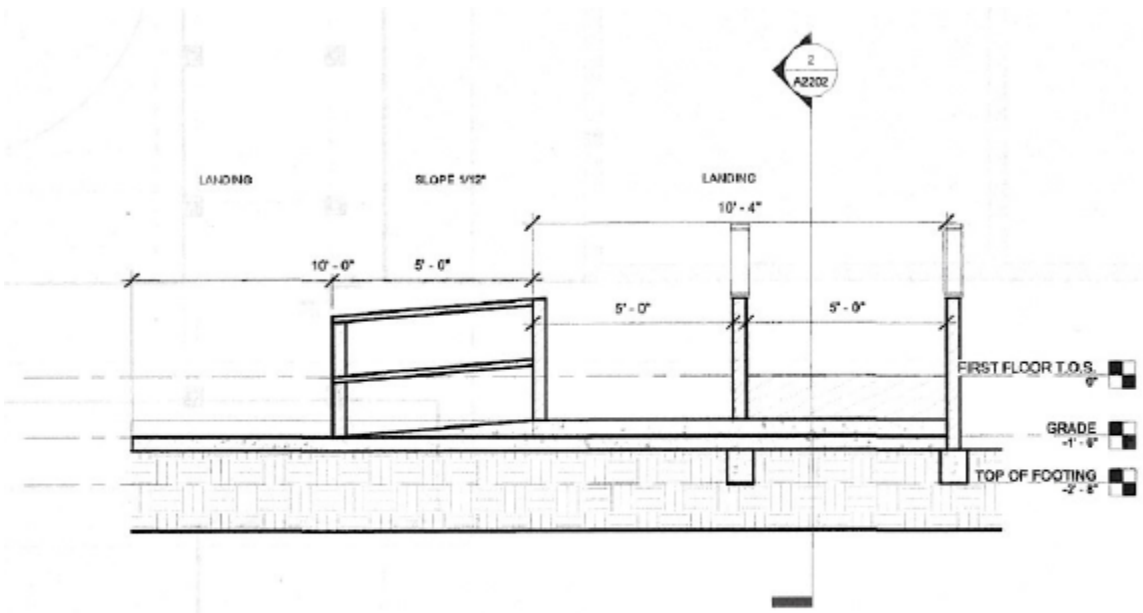


**SITE PLAN DATED JULY 29, 2024**

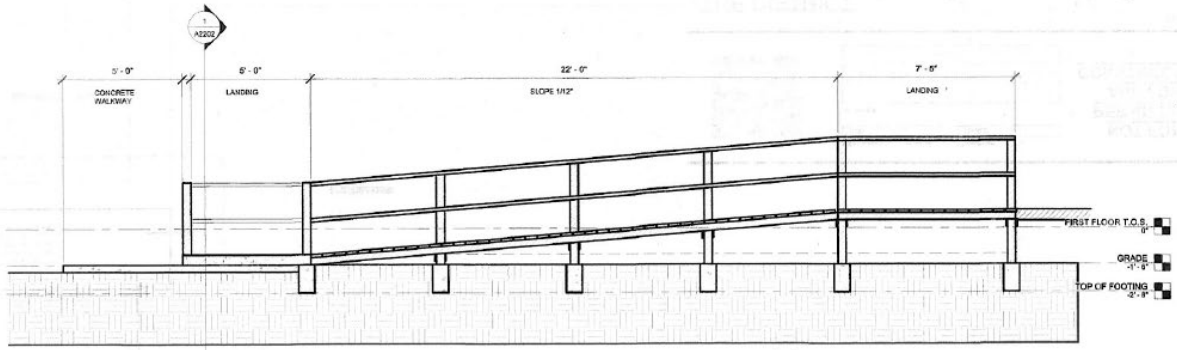




**ELEVATIONS DATED JULY 29, 2024**



**1 RAMP - SECTION 01**  
A2202 3/8" = 1'-0"



WOOD CONSTRUCTION

**2 RAMP - SECTION 02**  
A2202 3/8" = 1'-0"

Note: Ramps on 2026 DOT  
LANDS ON DEC. ATTACHED  
TO 2030,





## Application For Certificate Of Appropriateness

### Application Info

<b>Tracking #</b>	30895	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	06/06/2024	<b>Date Submitted</b>	06/06/2024

### Planning and Development Department Info

<b>COA #</b>	COA-24-30895
<b>Admin Review</b>	<input checked="" type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	7/30/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	8/28/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

### General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
MARKUSIC	JOSEPH	J
<b>Company Name</b>		
GLORY HOMES INC		
<b>Mailing Address</b>		
7027 ALPINE ST		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32208
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 838 0057	904	GLORYHOMESINC2000@GMAIL.COM

### General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
LUKE	FELICIA	D
<b>Company/Trust Name</b>		
4 LOCO INVESTORS LLC		
<b>Mailing Address</b>		
140 W 9TH ST		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32206
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
2068028531		THEDISTRICT2026@GMAIL.COM

### Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map	RE#
	072112 0000

--	--

### Location Of Property

#### General Location

Springfield Historic District

#### House #

2030

#### Street Name, Type and Direction

WALNUT ST

#### Zip Code

32206

### Type Of Improvement

- Addition     Driveway     New Construction     Accessory Structures  
 Alteration     Relocation     Window Replacement     Other  
 Fencing     Demolition     Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.

(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

#### Proposed Work

THIS COA IS LOCATED AT BOTH 2026 WALNUT ST AND 2030 WALNUT STREET. FOR EXTERIOR LANDSCAPE AND WALKWAY IMPROVEMENTS FOR A CHANGE OF USE PERMIT. THIS PROPERTY IS ZONED LIGHT INDUSTRIAL AND IS BEING CONVERTED TO BE PART OF A RESTAURANT COMPLEX ENCOMPASSING THIS PROPERTY AND 2026 NEXT DOOR.

### Addition Information

**Is this a violation?** Check the box if it is.

**If you have been working with a planner** choose one from the list

### Additional Documents Provided

	Description
<input checked="" type="checkbox"/>	COMPLETE PLAN SET
<input checked="" type="checkbox"/>	RAMP SPECS
<input checked="" type="checkbox"/>	SITE PLAN
<input checked="" type="checkbox"/>	UPDATED SITE PLAN 07.29.2024
<input checked="" type="checkbox"/>	UPDATED RAMP SPECS 07.29.2024
<input checked="" type="checkbox"/>	THE DISTRICT PLANS DATED 07.29.2024

### Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be



complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

**Payment deadline:** The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of property will prompt the removal of all exemptions, assessment caps and special classifications.

**4 LOCO INVESTORS LLC**   
 140 W 9TH ST  
 JACKSONVILLE, FL 32206

**Primary Site Address**  
 2026 WALNUT ST  
 Jacksonville FL 32206-

**Official Record Book/Page**  
 19086-01338

**Tile #**  
 6412

**2026 WALNUT ST**  
 Property Detail

<b>RE #</b>	072113-0000
<b>Tax District</b>	USD1
<b>Property Use</b>	2192 Restaurant Class 2
<b># of Buildings</b>	1
<b>Legal Desc.</b>	For full legal description see Land & Legal section below
<b>Subdivision</b>	01190 SPRINGFIELD BLK 054-088
<b>Total Area</b>	6928
<b>Characteristics</b>	<a href="#">Historic Designation</a>

Value Summary

Value Description	2023 Certified	2024 In Progress
<b>Value Method</b>	Income	Income
<b>Total Building Value</b>	\$0.00	\$0.00
<b>Extra Feature Value</b>	\$0.00	\$0.00
<b>Land Value (Market)</b>	\$8,168.00	\$65,340.00
<b>Land Value (Agric.)</b>	\$0.00	\$0.00
<b>Just (Market) Value</b>	\$59,652.00	\$232,500.00
<b>Assessed Value</b>	\$59,652.00	\$65,617.00
<b>Cap Diff/Portability Amt</b>	\$0.00 / \$0.00	\$166,883.00 / \$0.00
<b>Exemptions</b>	\$0.00	See below
<b>Taxable Value</b>	\$59,652.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification [Learn how the Property Appraiser's Office values property.](#)

**Taxable Values and Exemptions – In Progress** 

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value  
 No applicable exemptions

SJRWMD/FIND Taxable Value  
 No applicable exemptions

School Taxable Value  
 No applicable exemptions

**Sales History** 

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
<a href="#">19086-01338</a>	1/29/2020	\$165,000.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">12280-02093</a>	2/7/2005	\$40,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">11943-00576</a>	7/12/2004	\$30,000.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">08440-00564</a>	9/13/1996	\$24,000.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">07163-01500</a>	8/6/1991	\$100.00	QC - Quit Claim	Unqualified	Improved
<a href="#">06302-00575</a>	2/27/1987	\$100.00	QC - Quit Claim	Unqualified	Improved

**Extra Features** 

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	PVCC1	Paving Concrete	1	12	6	72.00	\$133.00
2	FCBC1	Fence Chain Barbed	1	0	0	202.00	\$1,149.00
3	FWDC1	Fence Wood	1	0	0	24.00	\$275.00

**Land & Legal** 

Land

LN	Code	Use Description	Zoning Assessment	Front	Depth	Category	Land Units	Land Type	Land Value
1	4000	LIGHT INDUSTRIAL	IL	0.00	0.00	Common	6,534.00	Square Footage	\$65,340.00

Legal

LN	Legal Description
1	2-46 37-2S-26E .150
2	SPRINGFIELD
3	N 52FT 3IN LOT 12 BLK 64

**Buildings** 

Building 1  
 Building 1 Site Address  
 2026 WALNUT ST Unit  
 Jacksonville FL 32206-

Element	Code	Detail
Exterior Wall	15	15 Concrete Blk
Roof Struct	4	4 Wood Truss
Roofing Cover	4	4 Built Up/T&G

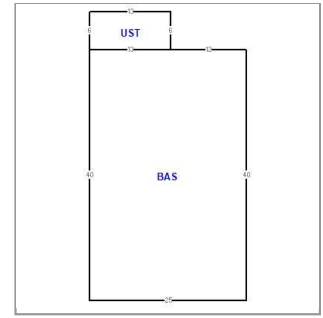
<b>Building Type</b>	2102 - RESTAURANT CLASS II
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<b>Year Built</b>	1952
<b>Building Value</b>	\$83,011.00

<b>Type</b>	<b>Gross Area</b>	<b>Heated Area</b>	<b>Effective Area</b>
Base Area	1000	1000	1000
Unfinished Storage	78	0	31
<b>Total</b>	<b>1078</b>	<b>1000</b>	<b>1031</b>

Interior Wall	3	3 Plastered
Int Flooring	3	3 Concrete Fin
Heating Fuel	3	3 Gas
Heating Type	3	3 Frcd Not Ductd
Air Cond	2	2 Wall Unit
Ceiling Wall Finish	4	4 NS Ceil Min Wall
Comm Htg & AC	0	0 None
Comm Frame	3	3 C-Masonry



<b>Element</b>	<b>Code</b>	<b>Detail</b>
Stories	1.000	
Restrooms	2.000	
Baths	6.000	
Rooms / Units	1.000	
Avg Story Height	10.000	

**2024 Notice of Proposed Property Taxes Notice (TRIM Notice)**

<b>Taxing District</b>	<b>Assessed Value</b>	<b>Exemptions</b>	<b>Taxable Value</b>	<b>Last Year</b>	<b>Proposed</b>	<b>Rolled-back</b>
County	\$65,617.00	\$0.00	\$65,617.00	\$675.08	\$742.58	\$719.16
Urban Service Dist1	\$65,617.00	\$0.00	\$65,617.00	\$0.00	\$0.00	\$0.00
Public Schools: By State Law	\$232,500.00	\$0.00	\$232,500.00	\$189.87	\$718.89	\$732.14
By Local Board	\$232,500.00	\$0.00	\$232,500.00	\$134.10	\$522.66	\$514.62
FL Inland Navigation Dist.	\$65,617.00	\$0.00	\$65,617.00	\$1.72	\$1.89	\$1.75
Water Mgmt Dist. SJRWMD	\$65,617.00	\$0.00	\$65,617.00	\$10.70	\$11.77	\$11.06
School Board Voted	\$232,500.00	\$0.00	\$232,500.00	\$59.65	\$232.50	\$232.50
Urb Ser Dist1 Voted	\$65,617.00	\$0.00	\$65,617.00	\$0.00	\$0.00	\$0.00
			<b>Totals</b>	<b>\$1,071.12</b>	<b>\$2,230.29</b>	<b>\$2,211.23</b>

<b>Description</b>	<b>Just Value</b>	<b>Assessed Value</b>	<b>Exemptions</b>	<b>Taxable Value</b>
<b>Last Year</b>	\$59,652.00	\$59,652.00	\$0.00	\$59,652.00
<b>Current Year</b>	\$232,500.00	\$65,617.00	\$0.00	\$65,617.00

**2024 TRIM Property Record Card (PRC)**

This PRC reflects property details and values at the time of the original mailing of the Notices of Proposed Property Taxes (TRIM Notices) in August.

**Property Record Card (PRC)**

The PRC accessed below reflects property details and values at the time of Tax Roll Certification in October of the year listed.

- [2023](#)
- [2022](#)
- [2021](#)
- [2020](#)
- [2019](#)
- [2018](#)
- [2017](#)
- [2016](#)
- [2015](#)
- [2014](#)

• To obtain a historic Property Record Card (PRC) from the Property Appraiser's Office, submit your request here:

**More Information**

[Contact Us](#) | [Parcel Tax Record](#) | [GIS Map](#) | [Map this property on Google Maps](#) | [City Fees Record](#)

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**4 LOCO INVESTORS LLC**  
140 W 9TH ST  
JACKSONVILLE, FL 32206

**Primary Site Address**  
2030 WALNUT ST  
Jacksonville FL 32206-

**Official Record Book/Page**  
20449-01685

**Tile #**  
6412

**2030 WALNUT ST**  
Property Detail

<b>RE #</b>	072112-0000
<b>Tax District</b>	USD1
<b>Property Use</b>	0100 Single Family
<b># of Buildings</b>	1
<b>Legal Desc.</b>	For full legal description see Land & Legal section below
<b>Subdivision</b>	01190 SPRINGFIELD BLK 054-088
<b>Total Area</b>	4477
<b>Characteristics</b>	<a href="#">Historic Designation</a>

Value Summary

Value Description	2023 Certified	2024 In Progress
<b>Value Method</b>	CAMA	CAMA
<b>Total Building Value</b>	\$73,430.00	\$69,895.00
<b>Extra Feature Value</b>	\$0.00	\$0.00
<b>Land Value (Market)</b>	\$39,645.00	\$44,050.00
<b>Land Value (Agric.)</b>	\$0.00	\$0.00
<b>Just (Market) Value</b>	\$113,075.00	\$113,945.00
<b>Assessed Value</b>	\$113,075.00	\$113,945.00
<b>Cap Diff/Portability Amt</b>	\$0.00 / \$0.00	\$0.00 / \$0.00
<b>Exemptions</b>	\$0.00	See below
<b>Taxable Value</b>	\$113,075.00	See below

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**Taxable Values and Exemptions – In Progress**

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County/Municipal Taxable Value  
No applicable exemptions

SJRWMD/FIND Taxable Value  
No applicable exemptions

School Taxable Value  
No applicable exemptions

**Sales History**

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
<a href="#">20449-01685</a>	9/26/2022	\$130,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">08579-00489</a>	3/11/1997	\$16,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">06951-01856</a>	8/2/1990	\$800.00	MS - Miscellaneous	Unqualified	Improved
<a href="#">06369-00299</a>	7/17/1987	\$22,900.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">06310-00970</a>	4/7/1987	\$100.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">06029-01975</a>	9/24/1985	\$12,500.00	MS - Miscellaneous	Unqualified	Improved

**Extra Features**

No data found for this section

**Land & Legal**

Land

LN	Code	Use Description	Zoning Assessment	Front	Depth	Category	Land Units	Land Type	Land Value
1	4000	LIGHT INDUSTRIAL	IL	43.00	125.00	Common	4,405.00	Square Footage	\$44,050.00

Legal

LN	Legal Description
1	2-46 37-2S-26E
2	SPRINGFIELD
3	FRACL LOT 11 BLK 64

**Buildings**

Building 1  
Building 1 Site Address  
2030 WALNUT ST Unit  
Jacksonville FL 32206-

<b>Building Type</b>	0101 - SFR 1 STORY
<b>Year Built</b>	1909
<b>Building Value</b>	\$69,895.00

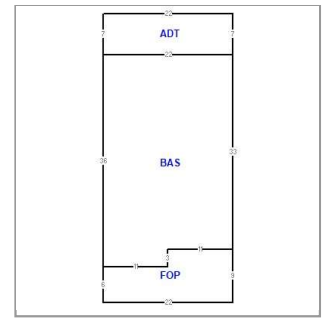
Element	Code	Detail
Exterior Wall	7	7 Cem Fib Shing
Roof Struct	3	3 Gable or Hip
Roofing Cover	3	3 Asph/Comp Shng
Interior Wall	5	5 Drywall
Int Flooring	9	9 Pine/Soft Wood
Heating Fuel	4	4 Electric



Type	Gross Area	Heated Area	Effective Area
Base Area	759	759	759
Finished Open Porch	165	0	50
Addition	154	154	139
Total	1078	913	948

Heating Type	3	3 Frcd Not Ductd
Air Cond	2	2 Wall Unit

Element	Code	Detail
Stories	1.000	
Bedrooms	3.000	
Baths	1.000	
Rooms / Units	1.000	



### 2024 Notice of Proposed Property Taxes Notice (TRIM Notice)

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
County	\$113,945.00	\$0.00	\$113,945.00	\$1,279.66	\$1,289.50	\$1,248.84
Urban Service Dist1	\$113,945.00	\$0.00	\$113,945.00	\$0.00	\$0.00	\$0.00
Public Schools: By State Law	\$113,945.00	\$0.00	\$113,945.00	\$359.92	\$352.32	\$358.81
By Local Board	\$113,945.00	\$0.00	\$113,945.00	\$254.19	\$256.15	\$252.21
FL Inland Navigation Dist.	\$113,945.00	\$0.00	\$113,945.00	\$3.26	\$3.28	\$3.03
Water Mgmt Dist. SJRWMD	\$113,945.00	\$0.00	\$113,945.00	\$20.27	\$20.43	\$19.21
School Board Voted	\$113,945.00	\$0.00	\$113,945.00	\$113.08	\$113.95	\$113.95
Urb Ser Dist1 Voted	\$113,945.00	\$0.00	\$113,945.00	\$0.00	\$0.00	\$0.00
			Totals	\$2,030.38	\$2,035.63	\$1,996.05

Description	Just Value	Assessed Value	Exemptions	Taxable Value
Last Year	\$113,075.00	\$113,075.00	\$0.00	\$113,075.00
Current Year	\$113,945.00	\$113,945.00	\$0.00	\$113,945.00

### 2024 TRIM Property Record Card (PRC)

This PRC reflects property details and values at the time of the original mailing of the Notices of Proposed Property Taxes (TRIM Notices) in August.

#### Property Record Card (PRC)

The PRC accessed below reflects property details and values at the time of Tax Roll Certification in October of the year listed.

[2023](#)

[2022](#)

[2021](#)

[2020](#)

[2019](#)

[2018](#)

[2017](#)

[2016](#)

[2015](#)

[2014](#)

- To obtain a historic Property Record Card (PRC) from the Property Appraiser's Office, submit your request here: 

#### More Information

[Contact Us](#) | [Parcel Tax Record](#) | [GIS Map](#) | [Map this property on Google Maps](#) | [City Fees Record](#)



# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY. ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: 8/1/24

COA#: 24-30895

Address: 2030 WALWOT ST  
JACKSONVILLE FL 32208

Owner: 4000 TALLENTS LLC

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application 24-30895 were posted on the property/site located at:

072112-0000  
Real Estate Number(s)

2030 WALWOT ST  
Street Address

JACKSONVILLE FL 32208  
City, State Zip Code

Printed Name Joseph M. Music

Signature [Handwritten Signature]

Dated this 1 day of August, 2024.



# BUILDING CODE SUMMARY

<b>PROJECT DATA</b>	PROJECT: THE DISTRICT PATIO LOCATION: JACKSONVILLE, FLORIDA BUILDING CODE: FLORIDA BUILDING CODE 7TH EDITION (2020) FLORIDA FIRE PREVENTION CODE 7TH EDITION, 2020 EDITION BUILDING AREA: BUILDING HEIGHT: EXISTING
<b>SCOPE OF WORK</b>	NEW CONCRETE FOUNDATIONS AND RAMPS
FLORIDA BUILDING CODE: BUILDING 7TH EDITION (2020)	
<b>CHAPTER 3 USE AND OCCUPANCY</b>	304.1: ASSEMBLY A-2 OCCUPANCY
<b>CHAPTER 6 TYPES OF CONSTRUCTION</b>	TABLE 601: BUILDING - III BUILDING ELEMENT RATING STRUCTURE FRAME 0 HOURS BEARING WALLS 0 HOURS EXTERIOR 0 HOURS INTERIOR 0 HOURS NON BEARING WALLS 0 HOURS EXTERIOR 0 HOURS INTERIOR 0 HOURS FLOOR CONSTRUCTION 0 HOURS ROOF CONSTRUCTION 0 HOURS

<b>CHAPTER 8 INTERIOR FINISHES</b>	TABLE 803.11: INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN:  <table border="1" style="width: 100%;"> <tr> <th colspan="3">NONSPRINKLERED</th> </tr> <tr> <th>VERT. EXITS &amp; EXIT PASSAGEWAYS</th> <th>EXIT ACCESS CORR./ OTHER EXITS</th> <th>ROOMS &amp; ENCLOSED SPACES</th> </tr> <tr> <td>A</td> <td>A*</td> <td>B*</td> </tr> </table> <p>a. Class C interior finish materials shall be permitted for wallcovering or paneling of not more than 1,000 square feet of applied surface area in the grade lobby where applied directly to a noncombustible base or over furring strips applied to a noncombustible base and fireblocked as required by Section 803.13.1.</p> <p>b. In other than Group I-3 occupancies in buildings less than three stories above grade plane, Class B interior finish for nonsprinklered buildings and Class C interior finish for sprinklered buildings shall be permitted in interior exit stairways and ramps.</p> <p>c. Requirements for rooms and enclosed spaces shall be based upon spaces enclosed by partitions. Where a fire-resistance rating is required for structural elements, the enclosing partitions shall extend from the floor to the ceiling. Partitions that do not comply with this shall be considered enclosing spaces and the rooms or spaces on both sides shall be considered one. In determining the applicable requirements for rooms and enclosed spaces, the specific occupancy thereof shall be the governing factor regardless of the group classification of the building or structure.</p> <p>d. Lobby areas in Group A-1, A-2 and A-3 occupancies shall not be less than Class B materials.</p> <p>e. Class C interior finish materials shall be permitted in places of assembly with an occupant load of 300 persons or less.</p>	NONSPRINKLERED			VERT. EXITS & EXIT PASSAGEWAYS	EXIT ACCESS CORR./ OTHER EXITS	ROOMS & ENCLOSED SPACES	A	A*	B*
NONSPRINKLERED										
VERT. EXITS & EXIT PASSAGEWAYS	EXIT ACCESS CORR./ OTHER EXITS	ROOMS & ENCLOSED SPACES								
A	A*	B*								

<b>TEST CRITERIA</b>	<p>803.1.2 ROOM CORNER TEST FOR INTERIOR WALL OR CEILING FINISH MATERIALS. INTERIOR WALL OR CEILING FINISH MATERIALS SHALL BE PERMITTED TO BE TESTED IN ACCORDANCE WITH NFPA 286. INTERIOR WALL OR CEILING FINISH MATERIALS TESTED IN ACCORDANCE WITH NFPA 286 SHALL COMPLY WITH SECTION 803.1.2.1.</p> <p>803.1.2.1 ACCEPTANCE CRITERIA FOR NFPA 286. THE INTERIOR FINISH SHALL COMPLY WITH THE FOLLOWING:          1. DURING THE 40 KW EXPOSURE, FLAMES SHALL NOT SPREAD TO THE CEILING.          2. THE FLAME SHALL NOT SPREAD TO THE OUTER EXTREMITY OF THE SAMPLE ON ANY WALL OR CEILING.          3. FLASHOVER, AS DEFINED IN NFPA 286, SHALL NOT OCCUR.          4. THE PEAK HEAT RELEASE RATE THROUGHOUT THE TEST SHALL NOT EXCEED 800 KW.          5. THE TOTAL SMOKE RELEASED THROUGHOUT THE TEST SHALL NOT EXCEED 1,000 M2.</p> <p>803.1.3 ROOM CORNER TEST FOR TEXTILE WALL COVERINGS AND EXPANDED VINYL WALL COVERINGS. TEXTILE WALL COVERINGS AND EXPANDED VINYL WALL COVERINGS SHALL MEET THE CRITERIA OF SECTION 803.1.3.1 WHEN TESTED IN THE MANNER INTENDED FOR USE IN ACCORDANCE WITH THE METHOD B PROTOCOL OF NFPA 286 USING THE PRODUCT-MOUNTING SYSTEM, INCLUDING ADHESIVE.</p> <p>803.1.3.1 ACCEPTANCE CRITERIA FOR NFPA 286. THE INTERIOR FINISH SHALL COMPLY WITH THE FOLLOWING:          1. DURING THE 40 KW EXPOSURE, FLAMES SHALL NOT SPREAD TO THE CEILING.          2. THE FLAME SHALL NOT SPREAD TO THE OUTER EXTREMITIES OF THE SAMPLES ON THE 8-FOOT BY 12-FOOT (203 BY 305 MM) WALLS.          3. FLASHOVER, AS DEFINED IN NFPA 286, SHALL NOT OCCUR.          4. THE TOTAL SMOKE RELEASED THROUGHOUT THE TEST SHALL NOT EXCEED 1,000 M2.</p> <p>803.1.4 ACCEPTANCE CRITERIA FOR TEXTILE AND EXPANDED VINYL WALL OR CEILING COVERINGS TESTED TO ASTM E84 OR UL 723. TEXTILE WALL AND CEILING COVERINGS AND EXPANDED VINYL WALL AND CEILING COVERINGS SHALL HAVE A CLASS A FLAME SPREAD INDEX IN ACCORDANCE WITH ASTM E84 OR UL 723 AND BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2. TEST SPECIMEN PREPARATION AND MOUNTING SHALL BE IN ACCORDANCE WITH ASTM E2404.</p>
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<b>TENT FABRIC</b>	803.5 TEXTILE WALL COVERINGS. WHERE USED AS INTERIOR WALL FINISH MATERIALS, TEXTILE WALL COVERINGS, INCLUDING MATERIALS HAVING WOVEN OR NONWOVEN, NAPPED, TUFTED, LOOPEO OR SIMILAR SURFACE AND CARPET AND SIMILAR TEXTILE MATERIALS, SHALL BE TESTED IN THE MANNER INTENDED FOR USE USING THE PRODUCT MOUNTING SYSTEM, INCLUDING ADHESIVE, AND SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 803.1.2, 803.1.3 OR 803.1.4.
<b>PLASTIC</b>	803.6 TEXTILE CEILING COVERINGS. WHERE USED AS INTERIOR CEILING FINISH MATERIALS, TEXTILE CEILING COVERINGS, INCLUDING MATERIALS HAVING WOVEN OR NONWOVEN, NAPPED, TUFTED, LOOPEO OR SIMILAR SURFACE AND CARPET AND SIMILAR TEXTILE MATERIALS, SHALL BE TESTED IN THE MANNER INTENDED FOR USE USING THE PRODUCT MOUNTING SYSTEM, INCLUDING ADHESIVE, AND SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 803.1.2 OR 803.1.4.
<b>PLASTIC</b>	803.9 HIGH-DENSITY POLYETHYLENE (HDPE) AND POLYPROPYLENE (PP). WHERE HIGH-DENSITY POLYETHYLENE OR POLYPROPYLENE IS USED AS AN INTERIOR FINISH IT SHALL COMPLY WITH SECTION 803.1.2.



<b>CHAPTER 9 FIRE PROTECTION SYSTEM</b>	FIRE SPRINKLER SYSTEM - NO
<b>CHAPTER 10 MEANS OF EGRESS</b>	<p>MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT OUTDOOR SEATING (2059 SF) (15 SF/OCCUPANT) TOTAL OCCUPANTS - OCCUPANTS 137 OCCUPANTS</p> <p>TABLE 1004.6: EGRESS WIDTH PER OCCUPANT SERVED x 0.2 = INCHES INCHES PROVIDED AT DOORS</p> <p>1005.3.2 MINIMUM EXIT ACCESS TRAVEL DISTANCE - 200' ACTUAL TRAVEL DISTANCE</p> <p>TABLE 1006.2.1 MINIMUM NUMBER OF EXITS REQUIRED - 1 EXITS PROVIDED - 1</p> <p>TABLE 1006.3.1 A SINGLE EXIT OR ACCESS TO A SINGLE EXIT SHALL BE PERMITTED FROM ANY STORY OR OCCUPIED ROOF WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:          1. ROOMS, AREAS AND SPACES COMPLYING WITH SECTION 1006.2.1 WITH EXITS THAT DISCHARGE DIRECTLY TO THE EXTERIOR AT THE LEVEL OF EXIT DISCHARGE, ARE PERMITTED TO HAVE ONE EXIT OR ACCESS TO A SINGLE EXIT.          2. MIN. CLEAR OPENING FOR EXIT DOORS REQUIRED - 36"          MIN. CLEAR OPENING FOR EXISTING DOORS - 36"</p> <p>1010.1.1: ADA COMPLIANT - YES</p>
<b>CHAPTER 11 ACCESSIBLE ELEMENT AND SPACES</b>	<p>303.4 RAMP: CHANGES IN LEVEL GREATER THAN 1/2 INCH (13 MM) HIGH SHALL BE RAMPED, AND SHALL COMPLY WITH 405 OR 406.</p> <p>403.1 GENERAL: WALKING SURFACES THAT ARE A PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH 403.</p> <p>403.4 CHANGES IN LEVEL: CHANGES IN LEVEL SHALL COMPLY WITH 303.</p> <p>405.2 SLOPE: RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12</p> <p>03.5.3 PASSING SPACES: PASSING SPACES SHALL BE EITHER: A SPACE 60 INCHES (1525 MM) MINIMUM BY 60 INCHES (1525 MM) MINIMUM.</p> <p>405.7 LANDINGS: RAMP SHALL HAVE LANDINGS AT THE TOP AND THE BOTTOM OF EACH RAMP RUN. LANDINGS SHALL COMPLY WITH 405.7.</p> <p>405.7.3 LENGTH: THE LANDING CLEAR LENGTH SHALL BE 60 INCHES (1525 MM) LONG MINIMUM.</p> <p>405.7.4 CHANGE IN DIRECTION: RAMP THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING 60 INCHES (1525 MM) MINIMUM BY 60 INCHES (1525 MM) MINIMUM.</p> <p>405.8 HANDRAILS: RAMP RUNS WITH A RISE GREATER THAN 8 INCHES (150 MM) SHALL HAVE HANDRAILS COMPLYING WITH 505</p>

<b>CHAPTER 31 SPECIAL CONSTRUCTION</b>	<p>3102.1 GENERAL. THE PROVISIONS OF SECTIONS 3102.1 THROUGH 3102.8 SHALL APPLY TO AIR-SUPPORTED, AIR-INFLATED, MEMBRANE-COVERED CABLE, MEMBRANE-COVERED FRAME AND TENSILE MEMBRANE STRUCTURES, COLLECTIVELY KNOWN AS MEMBRANE STRUCTURES. ERRECTED FOR A PERIOD OF 180 DAYS OR LONGER, THOSE ERRECTED FOR A SHORTER PERIOD OF TIME SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE. MEMBRANE STRUCTURES COVERING WATER STORAGE FACILITIES, WATER CLARIFIERS, WATER TREATMENT PLANTS, SEWAGE TREATMENT PLANTS, GREENHOUSES AND SIMILAR FACILITIES NOT USED FOR HUMAN OCCUPANCY ARE REQUIRED TO MEET ONLY THE REQUIREMENTS OF SECTIONS 3102.3.1 AND 3102.7. MEMBRANE STRUCTURES ERRECTED ON A BUILDING, BALCONY, DECK OR OTHER STRUCTURE FOR ANY PERIOD OF TIME SHALL COMPLY WITH THIS SECTION.</p> <p>3102.1.1 TENSILE MEMBRANE STRUCTURES. TENSILE MEMBRANE STRUCTURES, INCLUDING PERMANENT AND TEMPORARY STRUCTURES, SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ASCE 55. THE PROVISIONS IN SECTIONS 3102.3 THROUGH 3102.6 SHALL APPLY.</p> <p>3102.2 DEFINITIONS. THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2:          MEMBRANE-COVERED FRAME STRUCTURE: A NONPRESSURIZED BUILDING WHEREIN THE STRUCTURE IS COMPOSED OF A RIGID FRAMEWORK TO SUPPORT A TENSIONED MEMBRANE WHICH PROVIDES THE WEATHER BARRIER.</p> <p>3102.3 TYPE OF CONSTRUCTION. OTHER MEMBRANE STRUCTURES (MEMBRANE-COVERED FRAME STRUCTURES) SHALL BE CLASSIFIED AS TYPE V CONSTRUCTION.</p> <p>3102.3.1 MEMBRANE AND INTERIOR LINER MATERIAL. MEMBRANES AND INTERIOR LINERS SHALL BE EITHER NONCOMBUSTIBLE AS SET FORTH IN SECTION 703.5 OR MEET THE FIRE PROPAGATION PERFORMANCE CRITERIA OF TEST METHOD 1 OR TEST METHOD 2, AS APPROPRIATE, OF NFPA 701 AND THE MANUFACTURER'S TEST PROTOCOL.</p> <p>3102.4 ALLOWABLE FLOOR AREAS. THE AREA OF A MEMBRANE STRUCTURE SHALL NOT EXCEED THE LIMITATIONS SPECIFIED IN SECTION 506.</p> <p>3102.5 MAXIMUM HEIGHT. MEMBRANE STRUCTURES SHALL NOT EXCEED ONE STORY NOR SHALL SUCH STRUCTURES EXCEED THE HEIGHT LIMITATIONS IN FEET SPECIFIED IN SECTION 504.3.</p> <p>3102.6 MIXED CONSTRUCTION. MEMBRANE STRUCTURES SHALL BE PERMITTED TO BE UTILIZED AS SPECIFIED IN THIS SECTION AS A PORTION OF BUILDINGS OF OTHER TYPES OF CONSTRUCTION. HEIGHT AND AREA LIMITS SHALL BE AS SPECIFIED FOR THE TYPE OF CONSTRUCTION AND OCCUPANCY OF THE BUILDING.</p> <p>3102.6.1 MEMBRANE. A MEMBRANE MEETING THE FIRE PROPAGATION PERFORMANCE CRITERIA OF TEST METHOD 1 OR TEST METHOD 2, AS APPROPRIATE, OF NFPA 701 SHALL BE PERMITTED TO BE USED AS THE ROOF OR AS A SKYLIGHT ON BUILDINGS OF TYPE III, IV AND V CONSTRUCTION, PROVIDED THE MEMBRANE IS NOT LESS THAN 20 FEET (6096 MM) ABOVE ANY FLOOR, BALCONY OR GALLERY.</p> <p>3102.7 ENGINEERING DESIGN. THE STRUCTURE SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN DEAD LOADS, LOADS DUE TO TENSION OR INFLATION, LIVE LOADS INCLUDING WIND AND FLOOD LOADS AND IN ACCORDANCE WITH CHAPTER 16.</p> <p>3102.7.1 LATERAL RESTRAINT. FOR MEMBRANE-COVERED FRAME STRUCTURES, THE MEMBRANE SHALL NOT BE CONSIDERED TO PROVIDE LATERAL RESTRAINT IN THE CALCULATION OF THE CAPACITIES OF THE FRAME MEMBERS.</p>
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PLAN LEGEND	
	EGRESS ROUTE/TRAVEL DISTANCE
	FENCE
	PROPERTY LINE

**THE DISTRICT**  
2026 WALNUT ST  
JACKSONVILLE, FL 32206

SCHEMATIC: 23.10.15  
BID: -  
PERMIT: -  
BUILD: -

REVISIONS


**NOT FOR PERMITTING AND / OR CONSTRUCTION**

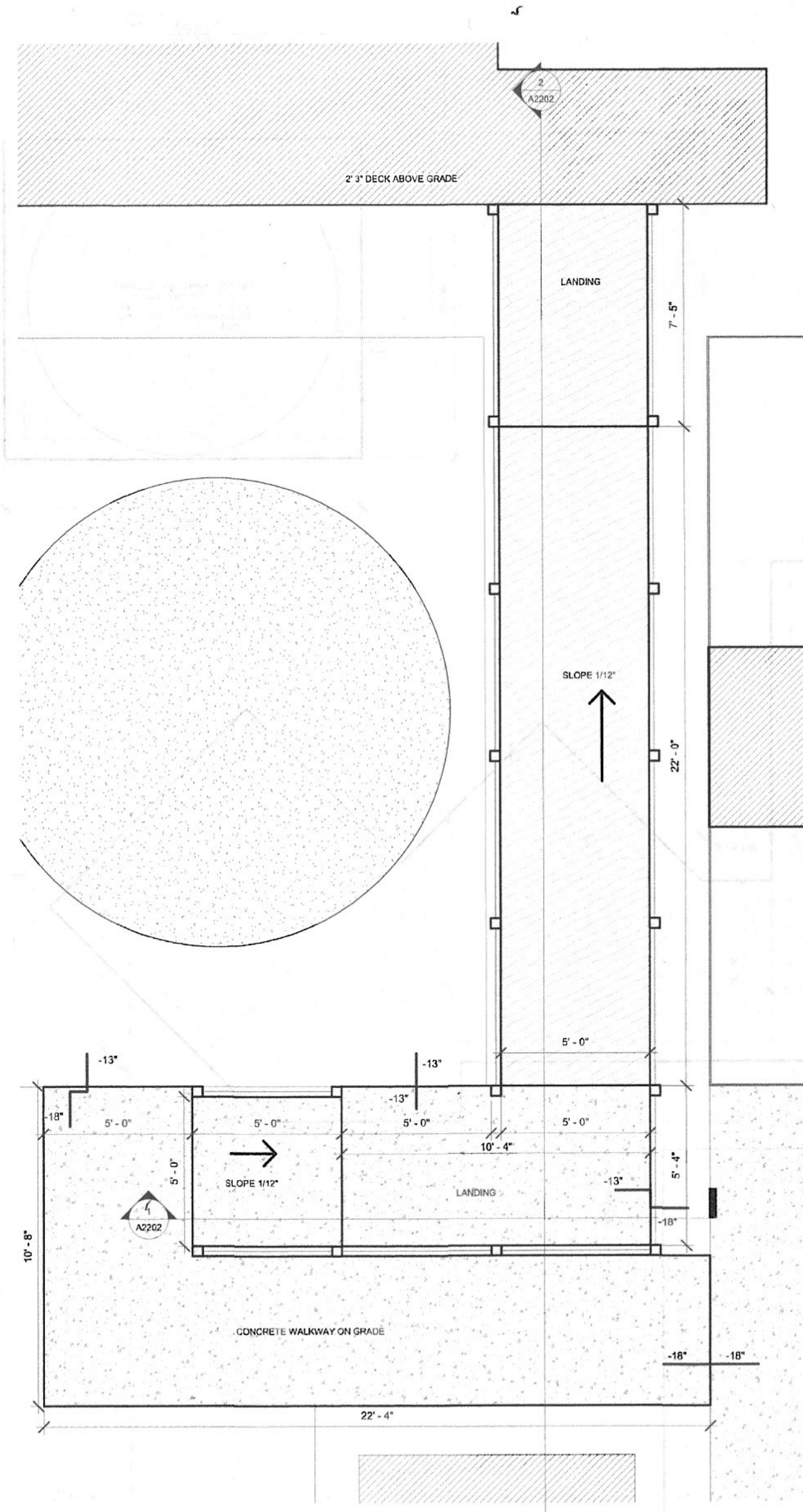
23.01.37

**A1100**  
SITE PLAN UTILITIES

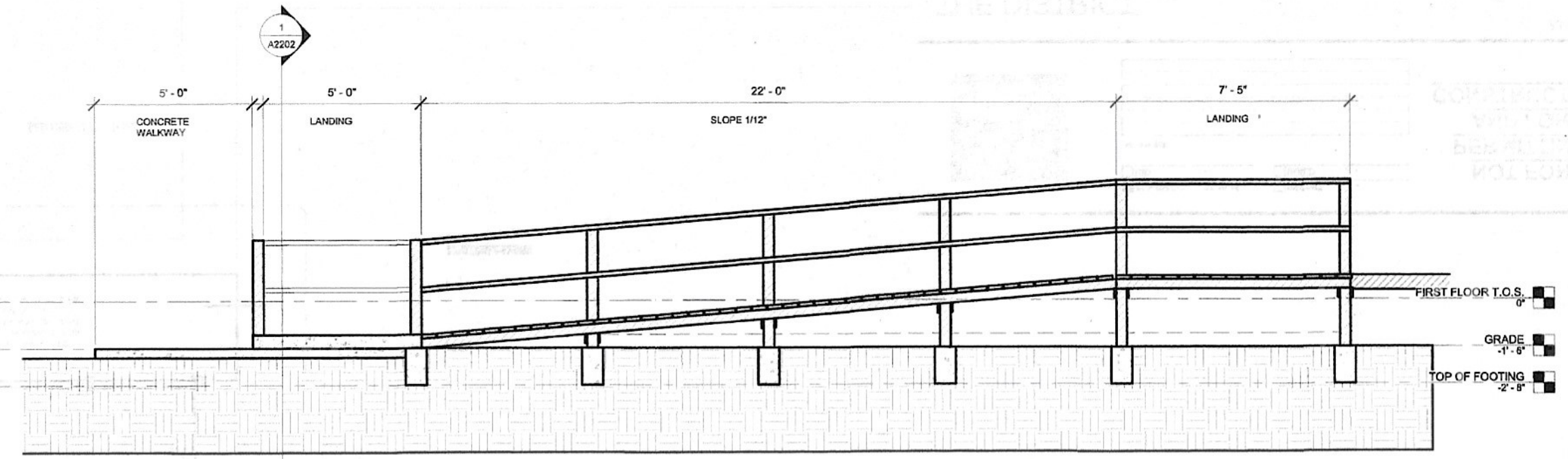
1 SITE PLAN  
A1100 1/8" = 1'-0"

for C.O.A.





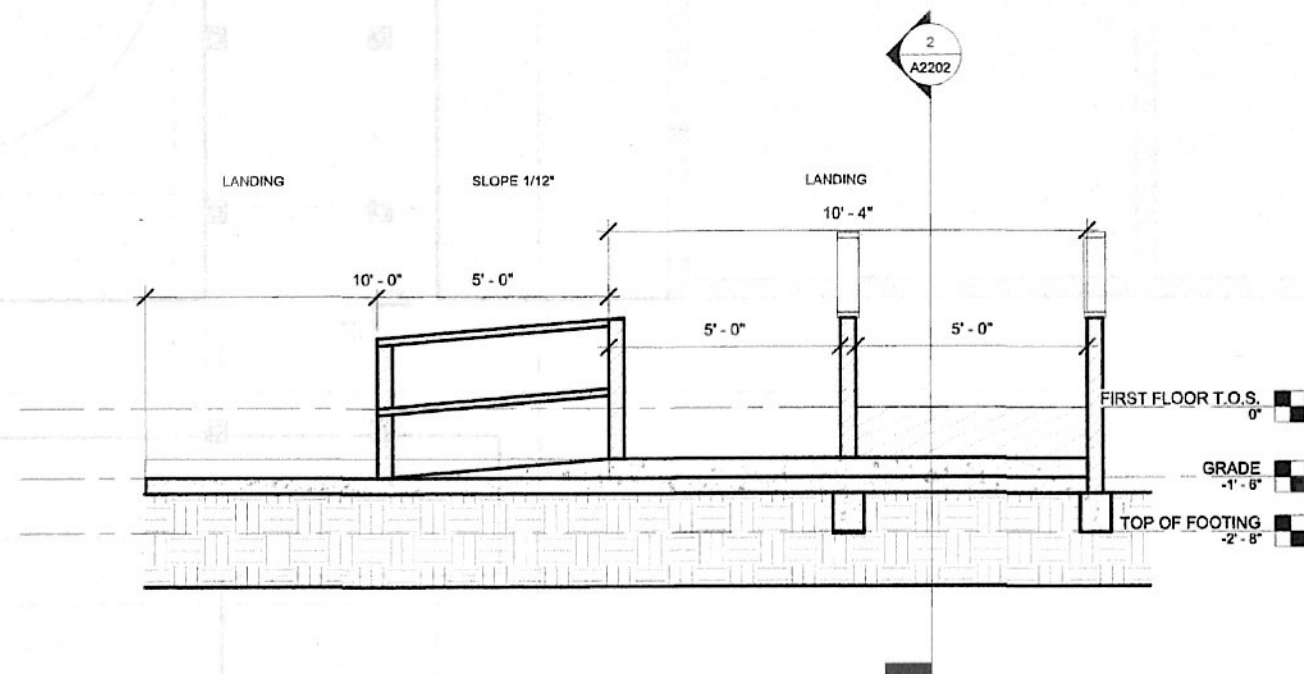
3 ENLARGED FLOOR PLAN - RAMP  
A2202 3/8" = 1'-0"



2 RAMP - SECTION 02  
A2202 3/8" = 1'-0"

WOOD CONSTRUCTION

Note: Ramp is on 2026 DOT  
lands on deck attached  
to 2030,



1 RAMP - SECTION 01  
A2202 3/8" = 1'-0"

2030 = 2026 WALNUT

dig ARCHITECTURE

SCHEMATIC 23.10.15 PERMIT  
 BID BUILD  
 REVISIONS

**NOT FOR PERMITTING AND/OR CONSTRUCTION**

THE DISTRICT  
 2026 WALNUT ST  
 JACKSONVILLE, FL 32206

23.01.37

**A2202**  
 DETAILS

for C.O.A.



***E.***

***Condemned  
Properties***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION

***F.***

***Historic  
Designations***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



***G.***

***Certificates of  
Appropriateness***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION

**COA-24-30766**

**1464 Avondale  
Avenue**



**September 25, 2024**

**Revised Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-30766**

**Address:** 1464 Avondale Avenue, RE# 079600-0000

**Location:** Southwest side of Avondale Avenue, between Knight Street and Park Street

**Owner:** Sondra Fetner  
 1464 Avondale Avenue  
 Jacksonville, Florida 32205

**Applicant:** Same as Owner

**Year Built:** c. 1922 (*Florida Master Site File*)

**Designation:** Riverside Avondale, Contributing

**Request:** Alteration – Window Replacement

**Summary Scope of Work:**

1. Replacement of thirty-four (34) wood windows with a Marvin wood replacement product
2. Awning Installation (*Administrative*)

***Recommendation:*** **Approve with Conditions**

**Conditions:**

**Window Replacement**

1. The light pattern of the first-floor windows and Window #27 on the second floor shall be 12-over-1, 9-over-1, and 6-over-1 to match the patterns of the second-floor windows, and shall have exterior raised profiled muntins (true or simulated divided lights).
2. The fourteen (14) second-floor windows, minus the one-bathroom window) shall be repaired.
3. Any exterior trim work, including traditional sill, sideboards, and header with crown molding, shall be retained or replicated in wood or cementitious materials, but not vinyl.
4. The first-floor windows shall fit the original openings both horizontally and vertically and be recessed 3-inches within the opening (not flush with the wall or have permanent nailing fins).
5. Any sash-style window groupings shall have traditional 4–6-inch flat mullions between window units.
6. The new windows shall be wood, wood clad, or wood blend.

7. The removal of windows shall be done with care to ensure the least amount of damage and all openings where windows are removed shall be secured in a manner that does not damage the historic casing and trim.
8. Repairs shall involve the least degree of intervention possible such as patching, piecing-in, splicing, consolidating, and reinforcing in accordance with preservation methods, with limited replacement of components with matching materials.
9. All preparation for painting shall utilize gentle means such as hand scraping/sanding, heat guns, and strippers. No abrasive cleaning methods such as rotary sanding, sandblasting, extreme high-pressure washing, or torches shall be used.
10. All windows shall be installed in accordance with the latest version of the HPS Window Supplement.
11. Prior to the final inspection of any building permit, the owner or their agent shall submit to the Historic Preservation Section an affidavit and any supplementary evidence that verifies compliance with all conditions of the COA final order.

### **Awning Installation**

12. The awnings shall be either cloth or canvas (not metal or vinyl).
13. The awnings shall not obscure significant architectural features.
14. The awnings shall be attached in a manner that would minimize damage to the wall surface.
15. The shape of the awnings shall follow the lines of the window opening.
16. The width of the awnings shall not exceed the window opening (inclusive of trim).
17. For brick surfaces, the awning shall be installed into the mortar joints rather than the brick.





## **PROJECT DESCRIPTION**

COA-24-30766 is for window replacement of thirty-four (34) windows on a contributing two-story structure within the Riverside Avondale Historic District. Located on an interior lot, the subject property consists of a two-story Prairie style single-family home that is characterized by its split-level stucco and red brick exterior, shingled hip roof, full-width porch, and wood windows. The existing wood window designs include 12-over-1, 9-over-1, 6-over-6, and 6-over-1. As proposed, the applicant is seeking to replace thirty-four (34) wood windows with a Marvin wood product with a 6-over-1 design. Under expired **COA-03-553**, a previous property owner was approved for window replacement of the first-floor windows.

Pursuant to the authority granted to Staff via the 2024 COA Matrix, replacement of window awnings on the sunroom addition with new cloth or canvas awnings that have a consistent shape of the window can be approved administratively. As such, this report will focus on the wholesale window replacement.

## **STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Springfield Historic District and the Ordinance Code criteria found in Sections 307.106(k) and 307.106(l). The following is Staff's analysis:

- Previously approved **COA-03-553** is the only window replacement COA application previously on file for the main home, which was for after-the-fact window replacement of five (5) first-floor windows and window replacement of an additional twelve (12) first-floor windows. At the time of the report, Staff found the first-floor windows were non-historic and the fourteen (14) second-floor windows were suitable for repair.
- Staff conducted site visits on June 12, 2024 and August 14, 2024, and noted a total of thirty-four (34) windows on the primary structure. The second-floor windows, minus Window #27, did not appear to show signs of severe deterioration or irreparability. Staff noted a few missing and broken pulleys, some paint peeling, and some exterior mullion rot on the sunroom. The applicant stated their repair attempts have included caulking and repainting the windows, and the previous owner repaired all the windows.
- According to the applicant, Window #27 on the second floor cannot be repaired due to the removal of the internal weight system—which Staff has no objection to its replacement.
- The applicant provided Staff with a letter from Austin Historical, a window restoration company. The letter documented evidence of “wood rot, failing paint, broken or missing sash chords, missing hardware, poorly aligned and ill-fitting sashes, and several inconsistencies and irregularities throughout the home.” The letter does not suggest whether the windows are beyond reasonable repair.
- The Florida Master Site File recorded in 1985 shows that the home was built in 1922 and had 12-over-1 and 6-over-6 wood windows and 6-light wood casement windows at the time of recording. Additionally, the Site File includes a picture of the structure showing the front elevation with 12-over-1 and 6-over-6 wood windows on the home, and 6-over-1 windows on the one-story sunroom addition. By comparing the recorded 1985 Site File picture to Staff's 2024 site visit picture, it appears that the two (2) first-floor windows on

the front have been replaced due to the longer window opening size and 12-over-1 light pattern. Additionally, the 2003 Staff site visit pictures included in **COA-03-553** also show a longer window opening size and 12-over-1 light pattern for the two (2) first-floor front windows.

- By installing 6-over-1 sash windows on the subject contributing structure, a significant portion of the character of the structure is removed and replaced with a historically inappropriate product. If the applicant were to retain the second-floor windows and install new first-floor windows with a compatible 12-over-1, 9-over-1, and 6-over-1 sash window product, as conditioned, this would allow the distinguishing original qualities of the structure to remain and to be consistent with the Historic Preservation Guidelines for the Riverside Avondale Historic District and with Section 307.106(l)(2).
- Section 307.106(l)(6) states, “Deteriorated architectural features shall be repaired rather than replaced whenever possible.” By retaining and repairing the second-floor historic windows and replacing only the first-floor windows, as conditioned, the historic architectural features of the home would be restored and therefore, consistent with Section 307.106(l)(6) and the Design Guidelines.
- Windows with gridded lights and exterior raised profiled muntins are a significant part of the architectural character of a structure and its contribution to the district. The Design Guidelines references “Windows” and notes, “Windows in the districts are often important stylistic elements.” Additionally, it lists Recommendation #1 to “Retain and repair window openings, frames, sash, glass, lintels, sills, pediments, architraves, hardware, awnings and shutters where they contribute to the architectural and historic character of the building.” Windows are a character-defining feature; the replacement of the first-floor windows with an appropriate design and product and the repair of the second-floor windows, as conditioned, is consistent with Section 307.106(k)(1 and 3).
- The Design Guidelines references “Windows” and lists Avoid #4 as “Changing the size or arrangement of windowpanes, muntins, and rails where they contribute to the architectural and historic character of a building.” The 12-over-1, 9-over-1, and 6-over-1 sash windows with exterior raised profiled muntins on the first-floor windows, and retaining and repairing the second-floor windows, as conditioned, will retain the integrity of the historic design of this structure.
- The relationship between this property and other properties in the area would not be negatively impacted, as the existing 12-over-1, 9-over-1, and 6-over-1 sash windows on the first floor would be replaced with new wood windows with a matching grid pattern and exterior profiled muntins of the second-floor historic windows, as conditioned, which follow a compatible design and size of the historic windows. Additionally, the effect of the proposed work, as conditioned, on the property does not detract from the structure’s architectural design. For these reasons, the alteration is consistent with Sections 307.106(k)(2-4).
- The proposed window replacement, as conditioned, would require minimal alteration of the building, does not destroy the distinguishing original qualities or character of the building, and does not mimic an earlier appearance. This is consistent with Section 307.103(l)(1-3).



For these reasons, it is the position of the Planning and Development Department that the proposed work, as conditioned, is consistent with:

1. Section 307.106(k) General Standards: 1-4
2. Section 307.106(l) Guidelines on “Alterations”: 1-3, and 6
3. Historic District Design Guidelines, Section on “Windows”

### **CODE CRITERIA AND DESIGN GUIDELINES**

#### **General Criteria**

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;
- 307.106(k)(3) - The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected;
- 307.106(k)(4) - Whether the plans may be carried out by the applicant within a reasonable period of time.

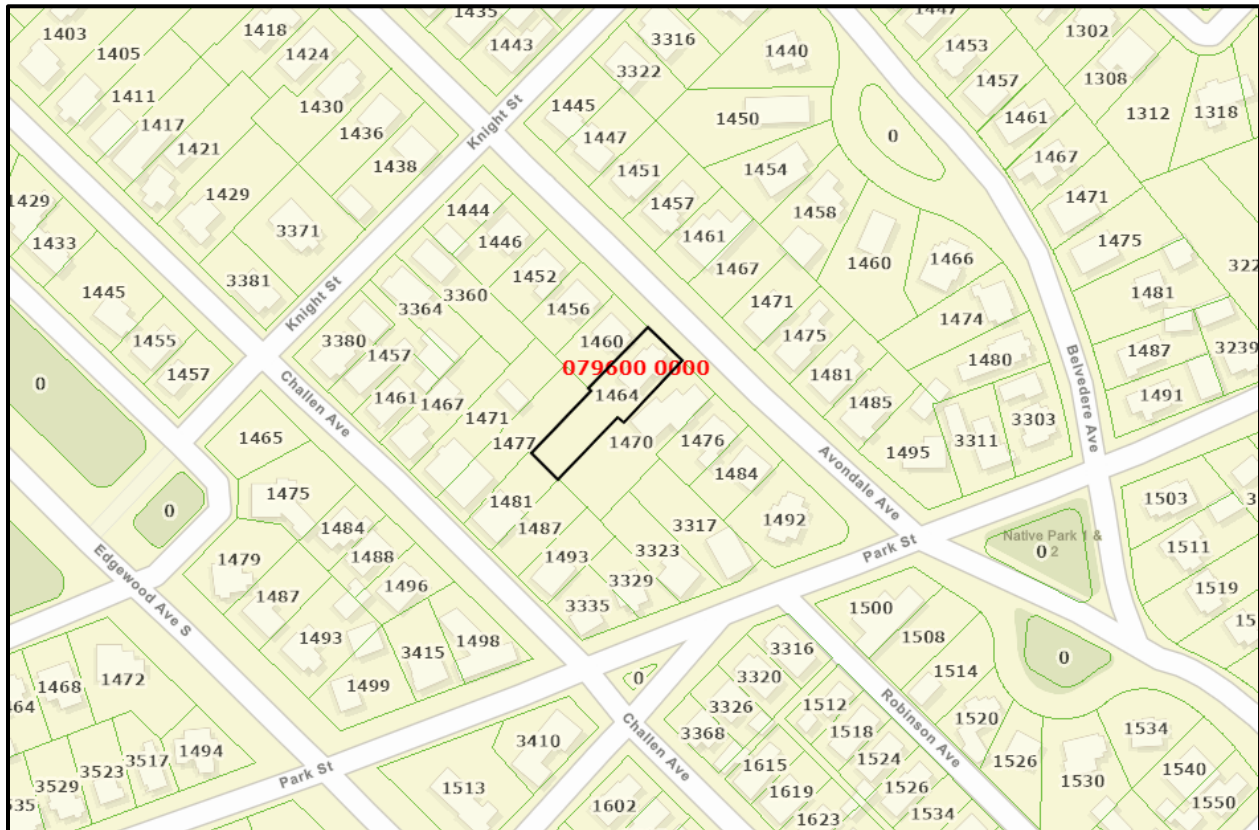
#### **Alterations**

- 307.106(l)(1) - Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building structure, or site.
- 307.106(l)(2) - The distinguishing original qualities or character of a building, structure, or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- 307.106(l)(3) - Each building, structure, and site shall be recognized as a product of its own time. An alteration which has no historical basis and which seeks to create an earlier appearance shall be discouraged.
- 307.106(l)(6) - Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. However, technologically advanced materials shall be considered and used as replacement alternatives. Repair or replacement of missing architectural features shall be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

**Historic District Design Guidelines, “Windows, Awnings, and Shutters”**

- Windows, Recommendation #1: “Retain and repair window openings, frames, sash, glass, lintels, sills, pediments, architraves, hardware, awnings and shutters where they contribute to the architectural and historic character of the building.”
- Windows, Recommendation #3: “Replace missing or irreparable windows on significant elevations with new windows that match the original in material, size, general muntin and mullion proportion and configuration, and reflective qualities of the glass.”
- Windows, Avoid #3: “Removing window features that can be repaired where such features contribute to the historic and architectural character of a building.”
- Windows, Avoid #4: “Changing the size or arrangement of window panes, muntins, and rails where they contribute to the architectural and historic character of a building.”
- Windows, Avoid #6: “Replacing windows that contribute to the character of a building with those that are incompatible in size, configuration, and reflective qualities or which alter the setback relationship between window and wall.”

**LOCATION MAP**





**PICTURE OF SUBJECT PROPERTY WITH POSTED SIGN**



### Application For Certificate Of Appropriateness

#### Application Info

<b>Tracking #</b>	30766	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	05/13/2024	<b>Date Submitted</b>	05/17/2024

#### Planning and Development Department Info

<b>COA #</b>	COA-24-30766
<b>Admin Review</b>	<input checked="" type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	7/1/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	N/A
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

#### General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
FETNER	SONDRA	
<b>Company Name</b>		
<b>Mailing Address</b>		
1464 AVONDALE AVE		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
561 289 5531		SRFETNER@GMAIL.COM

#### General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
FETNER	SONDRA	
<b>Company/Trust Name</b>		
<b>Mailing Address</b>		
1464 AVONDALE AVE		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
JACKSONVILLE	FL	32205
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
5612895531		SRFETNER@GMAIL.COM

#### Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map	RE#
	079600 0000



--	--

**Location Of Property**

**General Location**

Riverside/Avondale Historic District

**House #**

1464

**Street Name, Type and Direction**

AVONDALE AVE

**Zip Code**

32205

**Type Of Improvement**

- Addition     Driveway     New Construction     Accessory Structures
- Alteration     Relocation     Window Replacement     Other
- Fencing     Demolition     Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.  
(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

**Proposed Work**

FULL WINDOW REPLACEMENT WITH SAME WINDOW SIZE AND REVEAL WITH A CHANGE FROM A VARIETY OF DIFFERENT DIVIDED LIGHTS (6/1, 9/1, 12/1) TO A CONSISTENT 6 OVER 1 DESIGN, IN KEEPING WITH THE ACCURATE HISTORIC CHARACTER OF THE HOME, BASED ON OPINION BY A PRIVATE HISTORIC PLANNER AND A FORMER OWNER OF THE HOME WHO ALSO GREW UP NEXT TO THE HOUSE, THE HO EXISTING WINDOWS ARE NOT ORIGINAL OR HISTORIC, BUT ARE REPLICATIONS OF HISTORIC WOOD WINDOWS.

**Addition Information**

Is this a violation? Check the box if it is.

If you have been working with a planner choose one from the list

**Window Replacement - Required Attachments For Complete Application**

- Window Survey** - Survey of existing windows including numbered photos of all windows/openings with elevation key and notes explaining window condition. If you need, there is a [Window Survey](#) template in the Forms & Instructions link to the left.
- Window Design** - Proposed window design, light pattern and materials.
- Window Product** - Brochure/sample of window product.

**Additional Documents Provided**

	Description
<input checked="" type="checkbox"/>	PRODUCT PAMPHLET
<input checked="" type="checkbox"/>	WINDOW SURVEY
<input checked="" type="checkbox"/>	WINDOW DIAGRAMS
<input checked="" type="checkbox"/>	WINDOW SURVEY FORM
<input checked="" type="checkbox"/>	WINDOW TO BE SCREWED DUE TO LOOSE SASH
<input checked="" type="checkbox"/>	MUD DAUBER NEST FRONT WINDOW SECOND FLOOR
<input checked="" type="checkbox"/>	WINDOW CONDENSATION AND METAL TRACK FRONT FIRST FLOOR - 1

WINDOW CONDENSATION AND METAL TRACK FRONT FIRST FLOOR - 2

**Application Certification**

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW, AGREED TO AND SUBMITTED.



Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of property will prompt the removal of all exemptions, assessment caps and special classifications.

**FETNER SONDRAR**  
 1464 AVONDALE AVE  
 JACKSONVILLE, FL 32205-7823  
**FETNER MICHAEL J**

**Primary Site Address**  
 1464 AVONDALE AVE  
 Jacksonville FL 32205-

**Official Record Book/Page**  
 16737-00442

**Tile #**  
 6428

**1464 AVONDALE AVE**

Property Detail

<b>RE #</b>	079600-0000
<b>Tax District</b>	USD1
<b>Property Use</b>	0100 Single Family
<b># of Buildings</b>	1
<b>Legal Desc.</b>	For full legal description see Land & Legal section below
<b>Subdivision</b>	01373 AVONDALE NORTH
<b>Total Area</b>	11902
<b>Characteristics</b>	<u>Historic Designation</u>

Value Summary

Value Description	2023 Certified	2024 In Progress
<b>Value Method</b>	CAMA	CAMA
<b>Total Building Value</b>	\$306,250.00	\$311,178.00
<b>Extra Feature Value</b>	\$1,123.00	\$1,101.00
<b>Land Value (Market)</b>	\$188,100.00	\$188,100.00
<b>Land Value (Agric.)</b>	\$0.00	\$0.00
<b>Just (Market) Value</b>	\$495,473.00	\$500,379.00
<b>Assessed Value</b>	\$374,490.00	\$360,741.00
<b>Cap Diff/Portability Amt</b>	\$120,983.00 / \$0.00	\$139,638.00 / \$0.00
<b>Exemptions</b>	\$50,000.00	See below
<b>Taxable Value</b>	\$324,490.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification [Learn how the Property Appraiser's Office values property.](#)

**Taxable Values and Exemptions – In Progress**

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value

Assessed Value	\$360,741.00
Homestead (HX)	- \$25,000.00
Homestead Banding 196.031(1)(b) (HB)	- \$25,000.00
<b>Taxable Value</b>	<b>\$310,741.00</b>

SJRWMD/FIND Taxable Value

Assessed Value	\$360,741.00
Homestead (HX)	- \$25,000.00
Homestead Banding 196.031(1)(b) (HB)	- \$25,000.00
<b>Taxable Value</b>	<b>\$310,741.00</b>

School Taxable Value

Assessed Value	\$360,741.00
Homestead (HX)	- \$25,000.00
<b>Taxable Value</b>	<b>\$335,741.00</b>

**Sales History**

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
<a href="#">16737-00442</a>	3/28/2014	\$410,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">10534-02410</a>	5/31/2002	\$280,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">07158-00064</a>	7/1/1991	\$119,000.00	WD - Warranty Deed	Qualified	Improved
<a href="#">05821-00617</a>	6/28/1984	\$75,000.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">03643-00039</a>	12/20/1973	\$42,000.00	WD - Warranty Deed	Unqualified	Improved
<a href="#">03319-00304</a>	2/21/1972	\$100.00	QC - Quit Claim	Unqualified	Improved
<a href="#">03095-00714</a>	3/25/1970	\$16,000.00	MS - Miscellaneous	Unqualified	Improved

**Extra Features**

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	FPPR7	Fireplace Prefab	1	0	0	1.00	\$1,101.00

**Land & Legal**

Land

LN	Code	Use Description	Zoning Assessment	Front	Depth	Category	Land Units	Land Type	Land Value
1	0100	RES LD 3-7 UNITS PER AC	RLD-60	60.00	205.00	Common	60.00	Front Footage	\$188,100.00

Legal

LN	Legal Description
1	7-31 43-2S-26E .282
2	AVONDALE
3	LOT 446,
4	2-37 EDGEWOOD
5	PT LOT 2 RECD O/R 16737-442
6	BLK 17

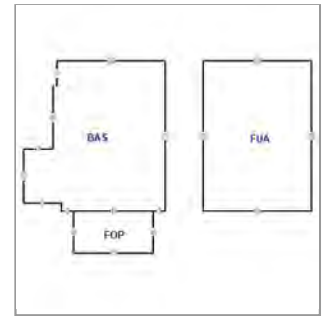
**Buildings** 

**Building 1**  
 Building 1 Site Address  
 1464 AVONDALE AVE Unit  
 Jacksonville FL 32205-

<b>Building Type</b>	0108 - SFR CLASS 2
<b>Year Built</b>	1924
<b>Building Value</b>	\$311,178.00

Type	Gross Area	Heated Area	Effective Area
Base Area	1053	1053	1053
Finished Open Porch	190	0	57
Finished upper story 1	936	936	889
<b>Total</b>	<b>2179</b>	<b>1989</b>	<b>1999</b>

Element	Code	Detail
Exterior Wall	20	20 Face Brick
Exterior Wall	16	16 Frame Stucco
Roof Struct	3	3 Gable or Hip
Roofing Cover	3	3 Asph/Comp Shng
Interior Wall	5	5 Drywall
Interior Wall	3	3 Plastered
Int Flooring	12	12 Hardwood
Heating Fuel	4	4 Electric
Heating Type	4	4 Forced-Ducted
Air Cond	3	3 Central



Element	Code	Detail
Stories	2.000	
Bedrooms	4.000	
Baths	2.500	
Rooms / Units	1.000	

**2023 Notice of Proposed Property Taxes Notice (TRIM Notice)**

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
Gen Govt Ex B&B	\$374,490.00	\$50,000.00	\$324,490.00	\$3,548.79	\$3,672.22	\$3,357.01
Urban Service Dist1	\$374,490.00	\$50,000.00	\$324,490.00	\$0.00	\$0.00	\$0.00
Public Schools: By State Law	\$374,490.00	\$25,000.00	\$349,490.00	\$1,095.65	\$1,112.43	\$1,025.47
By Local Board	\$374,490.00	\$25,000.00	\$349,490.00	\$761.13	\$785.65	\$712.40
FL Inland Navigation Dist.	\$374,490.00	\$50,000.00	\$324,490.00	\$10.03	\$9.35	\$9.35
Water Mgmt Dist. SJRWMD	\$374,490.00	\$50,000.00	\$324,490.00	\$61.90	\$58.18	\$58.18
School Board Voted	\$374,490.00	\$25,000.00	\$349,490.00	\$0.00	\$349.49	\$0.00
Urb Ser Dist1 Voted	\$374,490.00	\$50,000.00	\$324,490.00	\$0.00	\$0.00	\$0.00
			<b>Totals</b>	<b>\$5,477.50</b>	<b>\$5,987.32</b>	<b>\$5,162.41</b>

Description	Just Value	Assessed Value	Exemptions	Taxable Value
<b>Last Year</b>	\$455,696.00	\$363,583.00	\$50,000.00	\$313,583.00
<b>Current Year</b>	\$495,473.00	\$374,490.00	\$50,000.00	\$324,490.00

**2023 TRIM Property Record Card (PRC)**

This PRC reflects property details and values at the time of the original mailing of the Notices of Proposed Property Taxes (TRIM Notices) in August.

**Property Record Card (PRC)**

The PRC accessed below reflects property details and values at the time of Tax Roll Certification in October of the year listed.

- [2023](#)
- [2022](#)
- [2021](#)
- [2020](#)
- [2019](#)
- [2018](#)
- [2017](#)
- [2016](#)
- [2015](#)
- [2014](#)

• To obtain a historic Property Record Card (PRC) from the Property Appraiser's Office, submit your request here: 

**More Information**

[Contact Us](#) | [Parcel Tax Record](#) | [GIS Map](#) | [Map this property on Google Maps](#) | [City Fees Record](#)





# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY. ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: 7/9/24  
Address: 1464 Avondale Ave.  
Jacksonville, FL  
32205

COA#: 24-30766  
Owner: Sandra & Michael Fetner

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application COA-24-30766 were posted on the property/site located at:

~~079600~~ 079600 0000  
Real Estate Number(s)

1464 Avondale Ave  
Street Address  
Jacksonville, FL 32205  
City, State Zip Code

Printed Name Sandra Fetner

Signature *Sandra Fetner*

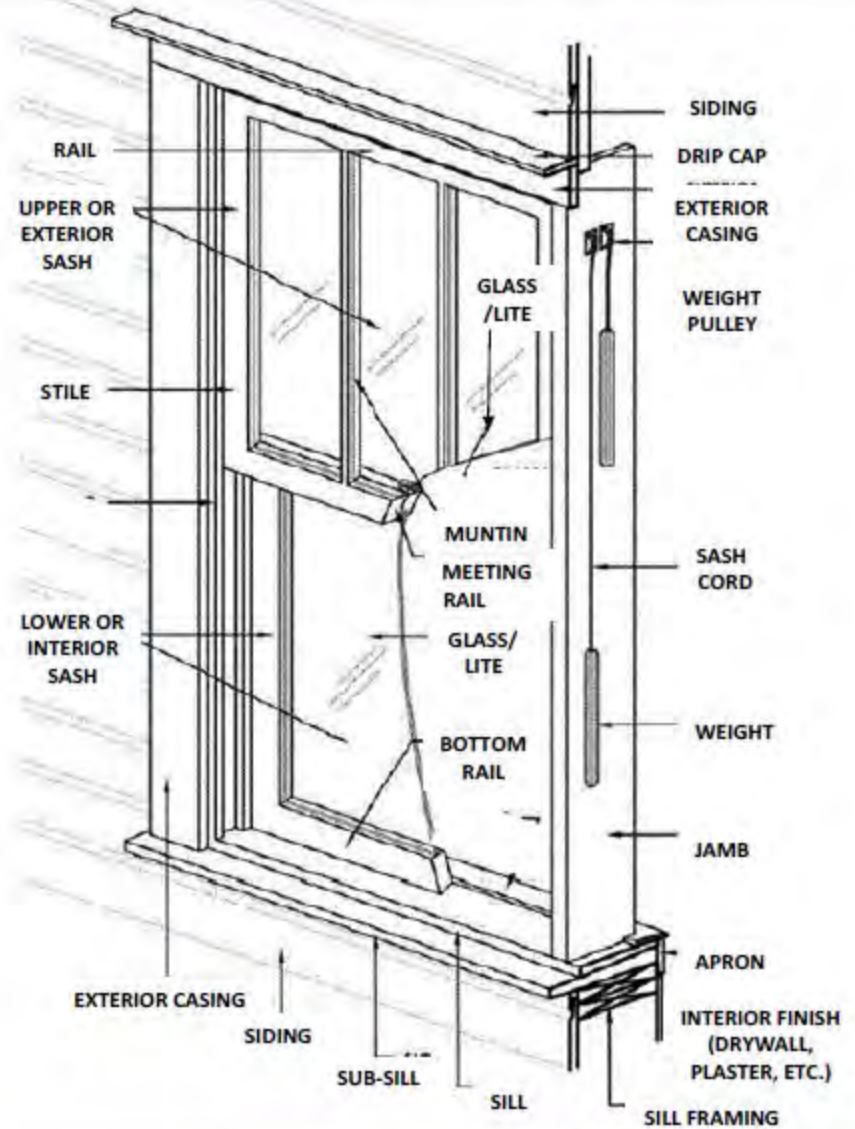
Dated this 10 day of July, 2024.



## Required Documents

- Completed window survey form list to include **ALL** windows on the structure (often requires multiple pages)
- Photographs or drawings of each side of the structure with all windows numbered to correspond with the "Window #" in the survey form list
- Close-up detailed numbered photos showing all damage identified in the window survey form list
- Proposed replacement window product material (wood, vinyl, clad, etc.) and exterior grid pattern (3/1, 4/4, 6/6, 1/1, etc)

*\* Please note that if one of the required documents is not submitted with the application, it will cause a delay in the review/process time.*



## Project Information

## Definitions

35	Total number of window openings
34	Number of windows that will be replaced
0	Number of historic/original windows
35	Number of non-historic windows
4.5	Exterior window sill depth in inches (Window Recession)

- **Historic Windows:** Windows that have been on the structure for 50 or more years.
- **Non-Historic Windows:** Replacement windows that have been on the structure for less than 50 years
- **Original:** Windows that were installed when the structure was originally constructed.
- **Sill Depth:** How deep into the wall plane a window is recessed

## Authorization

**I hereby certify that I have read and understand** the information contained in the Window Survey Form and the [HPS Window Supplement](#), that I am the owner or authorized agent for the owner with authority to complete this Form, and that all of the information contained in this application, including the attachments, is true and correct to the best of my knowledge.

**Owner**

**Applicant or Agent (if different than owner)**

Print name: Sondra Fetner

Print name: \_\_\_\_\_

Signature:

Signature: \_\_\_\_\_



# COJ Window Survey Form – Page # \_\_\_\_ out of \_\_\_\_

Window #	Existing (Example)					Proposed (Example)			
0	Material:	Dimensions:	Pattern:	Condition:	Damage:	Scope of Work	Material:	Dimensions:	Pattern:
	Wood	30 x 62	4 / 4	Bad	Termites	Replace Window	Wood	30 x 62	4 / 4
<b>Additional Info:</b>	Based on the attached photos and termite report, this window is extremely rotted and cannot be repaired.								
Window #	Existing					Proposed			
1	Material:	Dimensions:	Pattern:	Condition:	Damage:	Scope of Work	Material:	Dimensions:	Pattern:
	Wood	40 x 61.5	12/1	Good	None	Replace Window	Wood	40x61.5	6/1
<b>Additional Info:</b>	(front facade 1st floor)Non-historic replacement from prior owner in 2003								
Window #	Existing					Proposed			
2	Material:	Dimensions:	Pattern:	Condition:	Damage:	Scope of Work	Material:	Dimensions:	Pattern:
	Wood	31 x 61.5	12/1	Good	None	Replace Window	Wood	31x61.5	6/1
<b>Additional Info:</b>	(front facade 1st floor)Non-historic replacement from prior owner in 2003								
Window #	Existing					Proposed			
3	Material:	Dimensions:	Pattern:	Condition:	Damage:	Scope of Work	Material:	Dimensions:	Pattern:
	Wood	31 x 61.5	9/1	Bad	Rot	Replace Window	Wood	31x61.5	6/1
<b>Additional Info:</b>	West side 1st floor; not historic or original								
Window #	Existing					Proposed			
4	Material:	Dimensions:	Pattern:	Condition:	Damage:	Scope of Work	Material:	Dimensions:	Pattern:
	Wood	31 x 61.5	9/1	Bad	Rot	Replace Window	Wood	31x61.5	6/1
<b>Additional Info:</b>	West side 1st floor; wood rot; not historic or original								
Window #	Existing					Proposed			
5	Material:	Dimensions:	Pattern:	Condition:	Damage:	Scope of Work	Material:	Dimensions:	Pattern:
	Wood	31.75x37.5	6/1	Fair	None	Replace Window	Wood	31.75x37.5	6/1
<b>Additional Info:</b>	(stair landing); not historic or original								



# COJ Window Survey Form – Page # \_\_\_\_ out of \_\_\_\_

<b>Window #</b>  6	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x 61.5	9/1	Fair	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(in kitchen); not historic or original								
<b>Window #</b>  7	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31.75x37.5	6/1	N/A	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(kitchen sink); flies enter; not historic or original (Condition- rot)								
<b>Window #</b>  8	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31.75x37.5	6/1	Bad	Rot	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(kitchen sink); flies enter; not historic or original								
<b>Window #</b>  9	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31.75x37.5	6/1	Bad	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(rear kitchen), weights had to be removed for addition; not historic or original								
<b>Window #</b>  10	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x 61.5	9/1	Bad	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(sunroom, not historic, window replaced per COA 03-553), doesn't close in casing;								
<b>Window #</b>  11	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x 61.5	9/1	Bad	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(sunroom, not historic, window replaced per COA 03-553),								



# COJ Window Survey Form – Page # \_\_\_\_ out of \_\_\_\_

<b>Window #</b>  12	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Bad	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b> (sunroom, not historic, window replaced per COA 03-553); subsill detached; doesn't close									
<b>Window #</b>  13	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	N/A	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b> (sunroom, not historic, window replaced per COA 03-553); subsill detached; doesn't close									
<b>Window #</b>  14	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Bad	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b> (sunroom, not historic, window replaced per COA 03-553) subsill detached									
<b>Window #</b>  15	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Bad	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b> (sunroom, not historic, window replaced per COA 03-553) subsill detached									
<b>Window #</b>  16	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Bad	Rot	Replace Window	Wood	same	6/1
<b>Additional Info:</b> (sunroom, not historic, window replaced per COA 03-553); wood rot									
<b>Window #</b>  17	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Bad	Rot	Replace Window	Wood	same	6/1
<b>Additional Info:</b> (sunroom, not historic, window replaced per COA 03-553); wood rot									



# COJ Window Survey Form – Page # \_\_\_\_\_ out of \_\_\_\_\_

<b>Window #</b> 18	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Bad	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(east side dining)not historic or original; continues to let moisture in after servpro remediated the wall								
<b>Window #</b> 19	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	N/A	None	N/A	N/A	same	6/1
<b>Additional Info:</b>	(east side dining)not historic or original; continues to let moisture in after servpro remediated the wall								
<b>Window #</b> 20	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	N/A	None	N/A	N/A	same	6/1
<b>Additional Info:</b>	(east side dining)not historic or original; continues to let moisture in after servpro remediated the wall								
<b>Window #</b> 21	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	40x60.5	12/1	Bad	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(front 2nd floor); doesn't close all the way, broken rope; not historic or original								
<b>Window #</b> 22	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	40x60.5	12/1	Fair	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(front 2nd floor) not historic or original								
<b>Window #</b> 23	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Fair	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(west side 2nd floor) not historic or original								



# COJ Window Survey Form – Page # \_\_\_\_ out of \_\_\_\_

<b>Window #</b> 24	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Fair	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(west side 2nd floor) not historic or original								
<b>Window #</b> 25	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	N/A	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(west side 2nd floor); no ropes; not historic or original								
<b>Window #</b> 26	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Bad	Broken	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(west side 2nd floor); no ropes; not historic or original								
<b>Window #</b> 27	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Bad	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(rear side 2nd floor); needs to be rebuilt because damaged from construction and no more weights; not historic or original								
<b>Window #</b> 28	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Fair	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(east side 2nd floor) not historic or original								
<b>Window #</b> 29	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Wood	31x61.5	9/1	Fair	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b>	(east side 2nd floor) not historic or original								



# COJ Window Survey Form – Page # \_\_\_\_ out of \_\_\_\_

<b>Window #</b>  30	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	N/A	31x40.5	6/1	Fair	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b> (east side 2nd floor, bath) not historic or original									
<b>Window #</b>  31	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	N/A	31x61.5	9/1	N/A	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b> (east side 2nd floor) not historic or original									
<b>Window #</b>  32	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	N/A	31x61.5	9/1	Fair	None	Replace Window	Wood	same	6/1
<b>Additional Info:</b> (east side 2nd floor) not historic or original									
<b>Window #</b>  33	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	N/A	24x23	3/3	Fair	None	Replace Window	Wood	same	3/3
<b>Additional Info:</b> small casement on front									
<b>Window #</b>  34	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	N/A	24x23	3/3	Fair	None	Replace Window	Wood	same	3/3
<b>Additional Info:</b> small casement on front									
<b>Window #</b>  35	<b>Existing</b>					<b>Proposed</b>			
	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>	<b>Condition:</b>	<b>Damage:</b>	<b>Scope of Work</b>	<b>Material:</b>	<b>Dimensions:</b>	<b>Pattern:</b>
	Other	n/a	block glas	Good	None	Keep Window	N/A		
<b>Additional Info:</b> block glass									





All windows are not historic or original  
 1 & 2: replaced in the 1990s, per prior owner  
 9: cannot open because weights were moved for construction  
 10 & 11: not historic, windows replaced per COA 03-553, doesn't close in casing  
 21: does not close, ropes broken  
 27: needs a rebuild from construction and removal of other window  
 33 & 34: drafty



All windows are not historic or original

3 & 4: wood rot

7 & 8: does not close- bugs get in; wood rot

25: broken, no ropes

26: broken no ropes





All windows not historic or original

12-15: window replaced per COA 03-553);subsill detached; doesn't close

18-20: have wood rot from constant water intrusion; repaired through mold remediation in 2021and moisture returned



Up close of sunroom windows- These all have a variety of issues, bugs and water get in, air gets out. Do not close fully; wood rot, etc.





## Exterior window sill depth





#3- wood rot



#4- wood rot





#7- wood rot



# 16 & 17- wood rot,  
space between sashes  
and frame causes  
water and bug  
intrusion; not historic



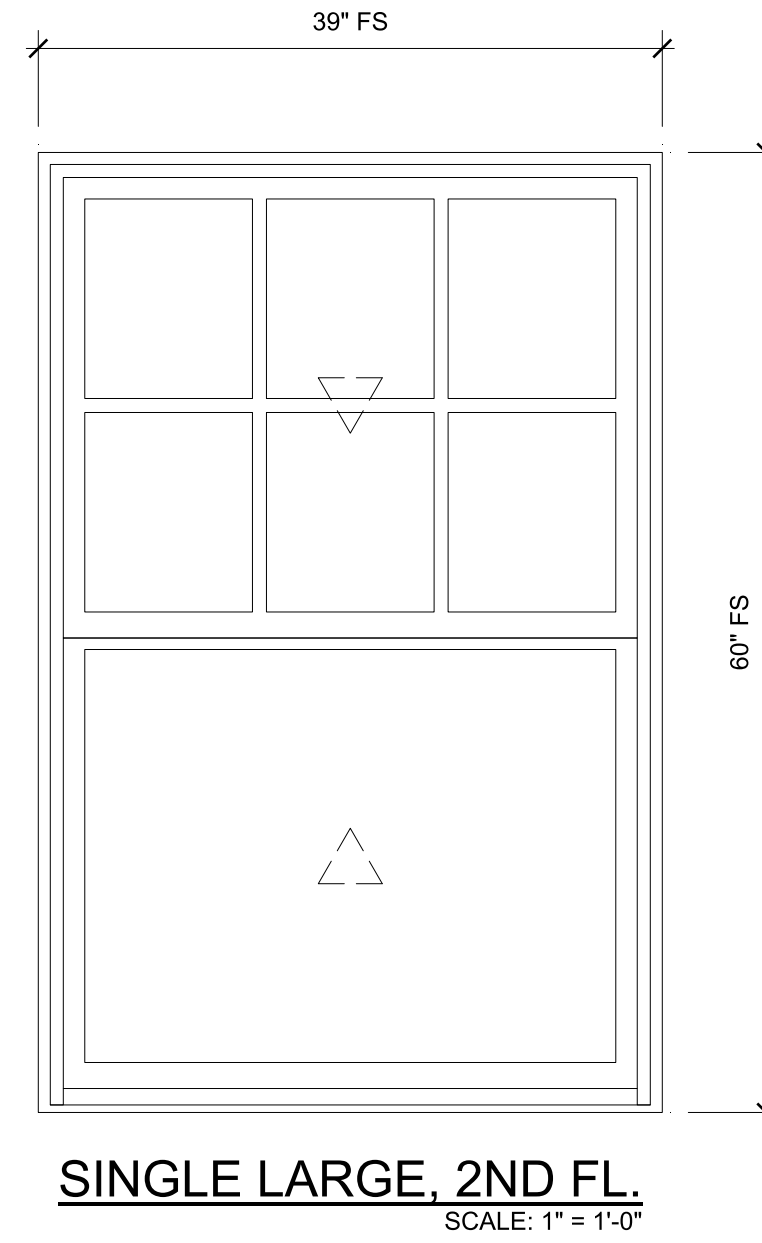
#8- wood rot

**ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:**  
 Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Department at Marvin Windows & Doors, P.O. Box 100, Grand Rapids, Michigan 49503. The purchaser must also return a copy of these drawings to the approved shop drawings. Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

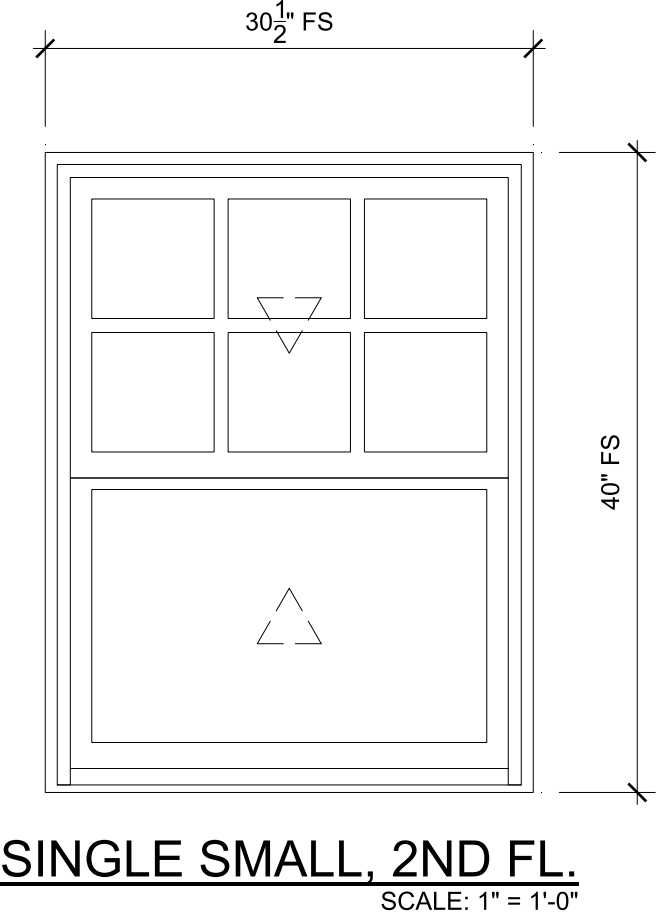
PROJ/JOB: FETNER/KK / FETNER/KK  
 DIST/DEALER: COASTAL SASH & DOOR INC  
 DRAWN: KOLBE KENNEDY  
 QUOTE#: YK45322  
 PK VERSION: 0004.08.01  
 CREATED: 05/13/2024  
 REVISION:

SHEET  
**1**  
 OF 1

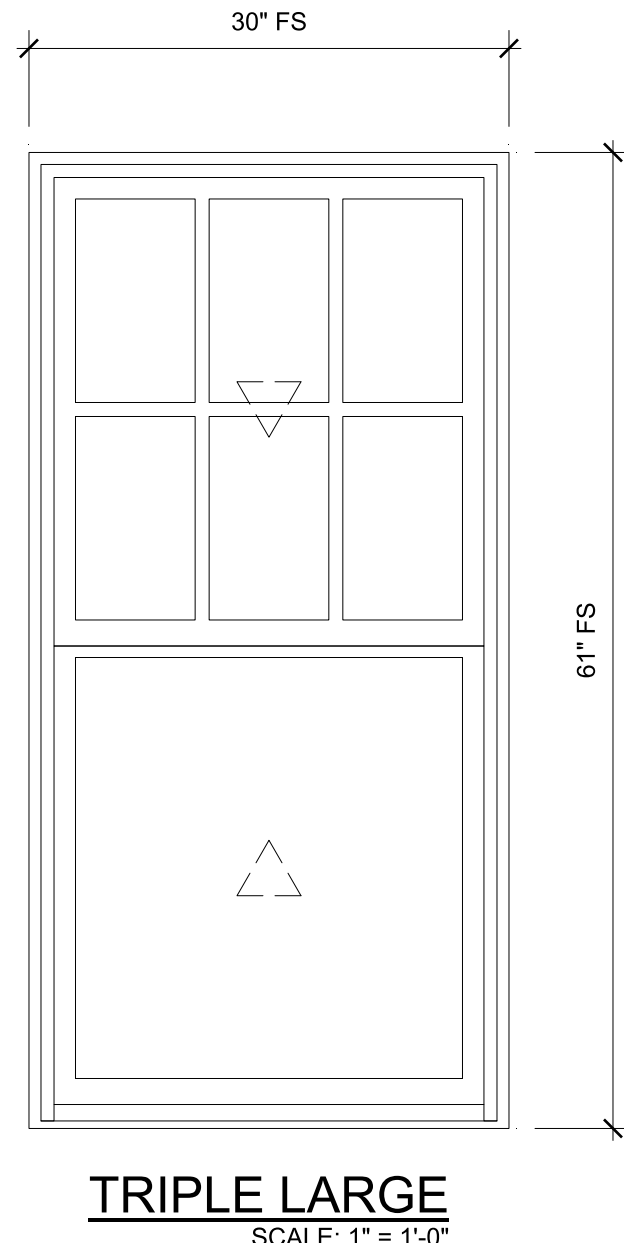
FOR DESIGN INTENT ONLY, NOT FOR MANUFACTURE.



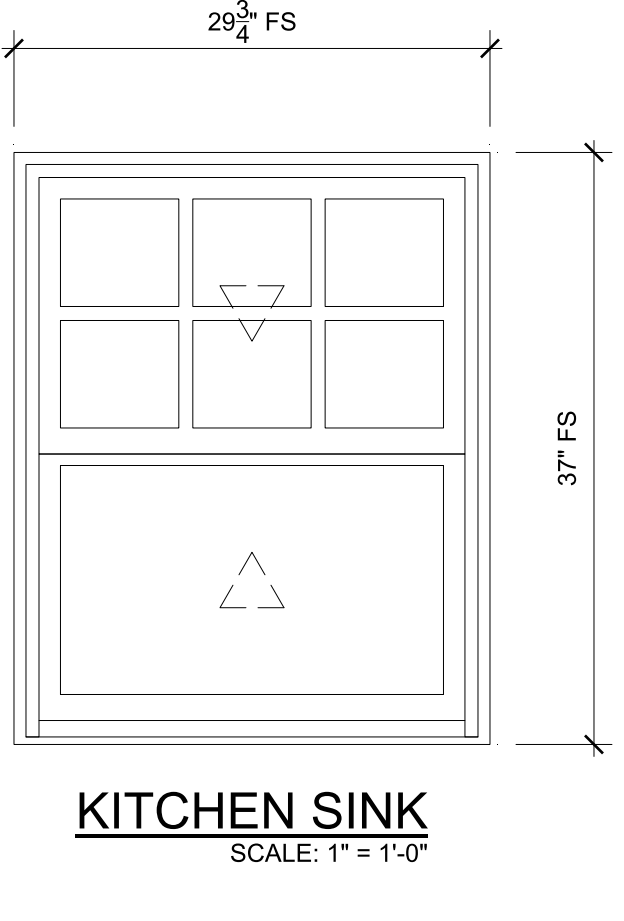
**SINGLE LARGE, 2ND FL.**  
 SCALE: 1" = 1'-0"



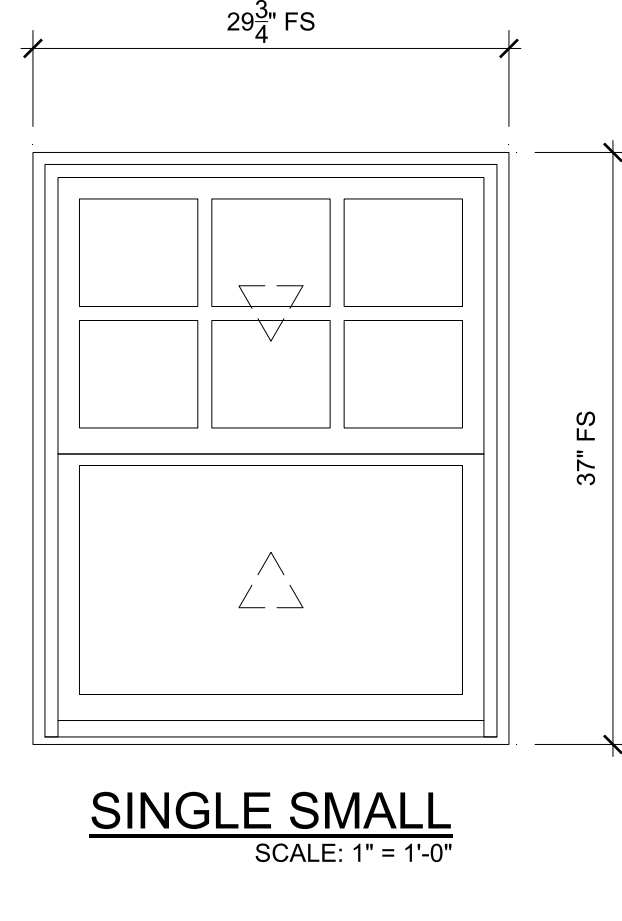
**SINGLE SMALL, 2ND FL.**  
 SCALE: 1" = 1'-0"



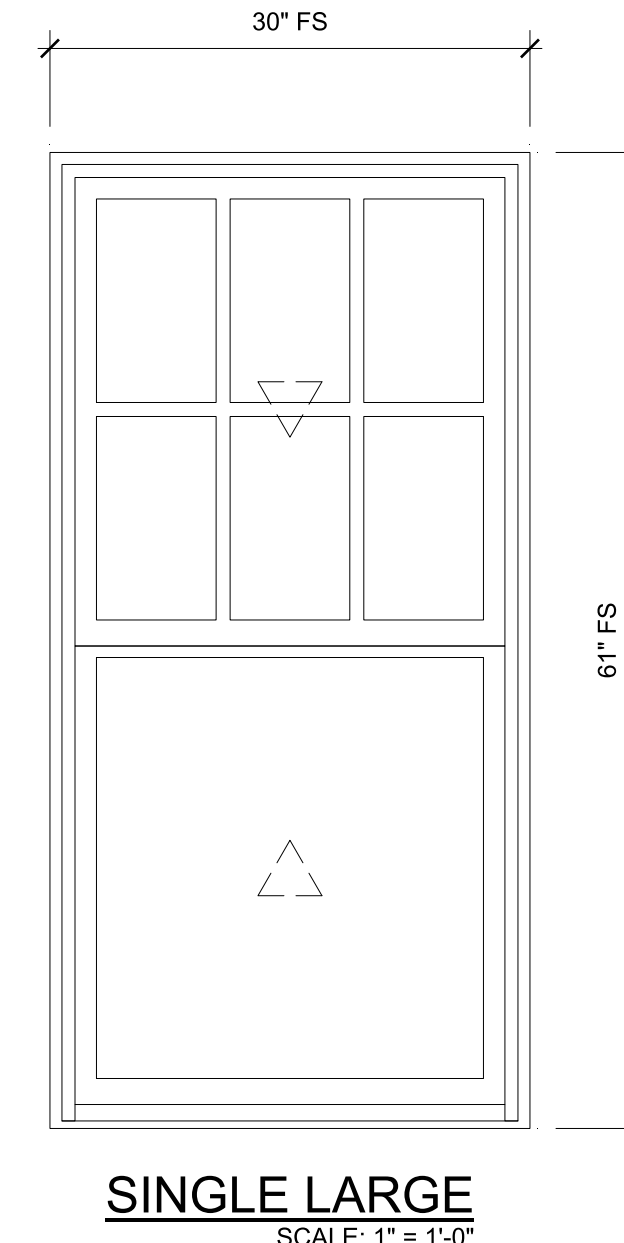
**TRIPLE LARGE**  
 SCALE: 1" = 1'-0"



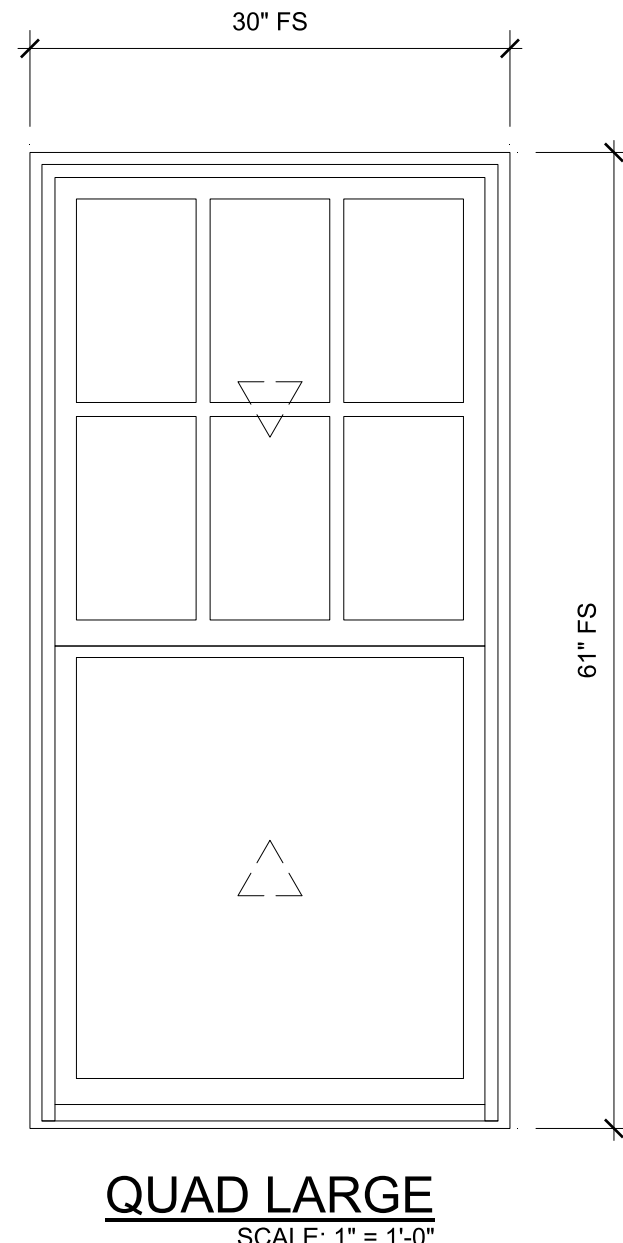
**KITCHEN SINK**  
 SCALE: 1" = 1'-0"



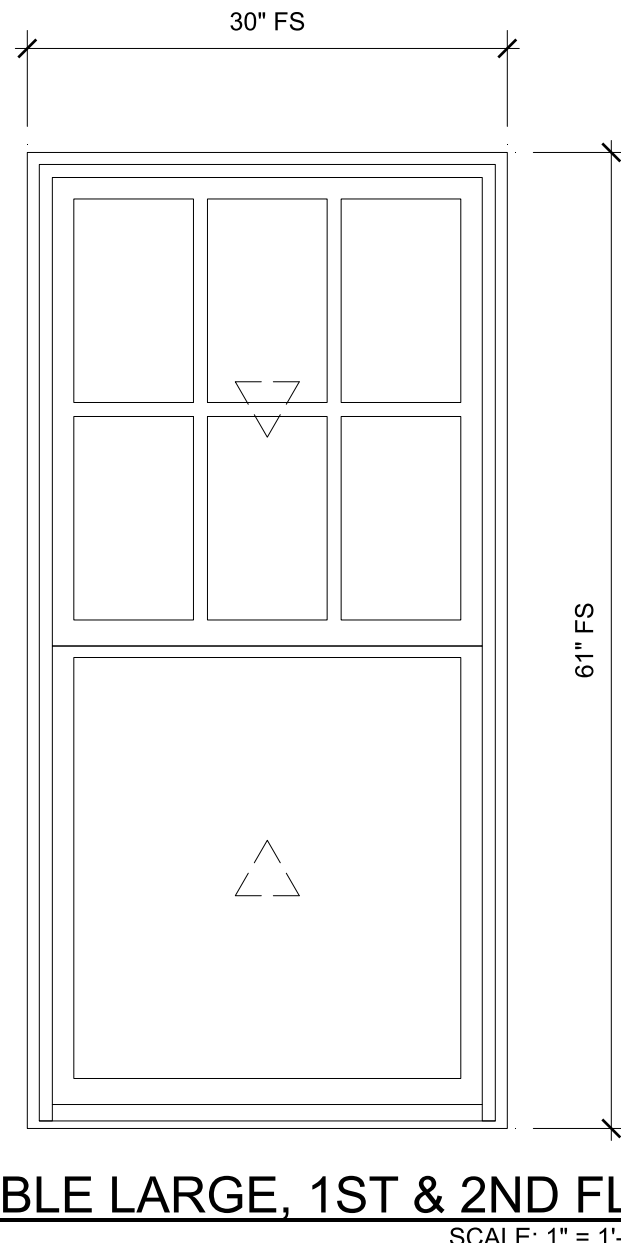
**SINGLE SMALL**  
 SCALE: 1" = 1'-0"



**SINGLE LARGE**  
 SCALE: 1" = 1'-0"



**QUAD LARGE**  
 SCALE: 1" = 1'-0"

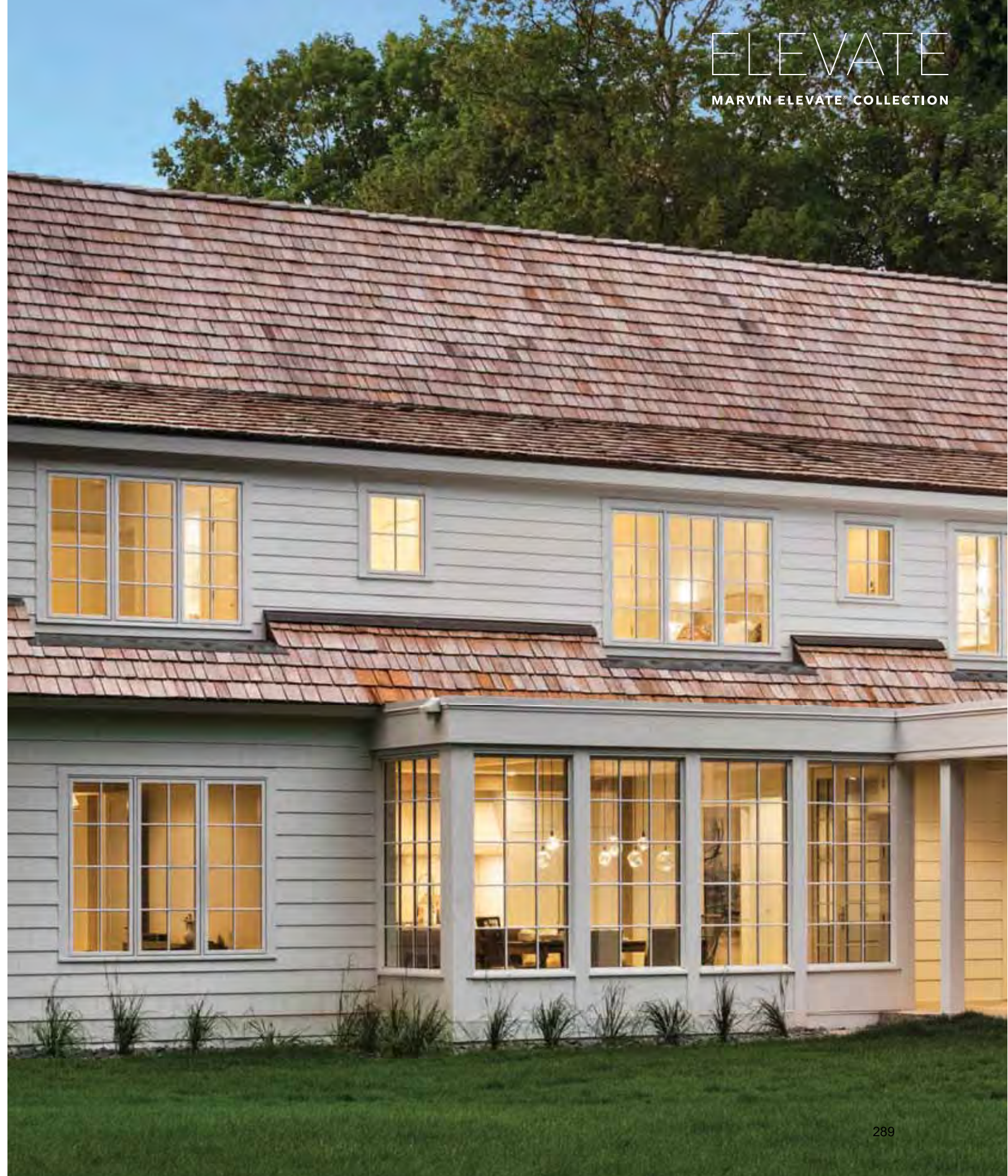


**DOUBLE LARGE, 1ST & 2ND FL.**  
 SCALE: 1" = 1'-0"



ELEVATE

MARVIN ELEVATE COLLECTION





















FLORIDA MASTER SITE FILE  
SITE INVENTORY FORM

Site No. 8Du 4593

Site Name 1454 Avondale Avenue Survey Date 8685  
Address of Site 1454 Avondale Avenue Jacksonville, Fl  
Instructions for locating \_\_\_\_\_

Location Avondale 465  
Subdivision name block no. lot no.

County Duval  
District name if applicable \_\_\_\_\_  
Owner of Site: Name \_\_\_\_\_  
Address \_\_\_\_\_

Type of ownership private Recording date \_\_\_\_\_  
Recorder: Name & Title Wendli, Phillip S.  
Address Florida Preservation Services  
PO Box 13892 Tallahassee, Fl 32317

Condition of Site:	Integrity of Site:	Original Use <u>private residence</u>
Check One	Check One or More	Present Use <u>private residence</u>
<input type="checkbox"/> Excellent	<input checked="" type="checkbox"/> Altered	Dates <u>1922</u>
<input checked="" type="checkbox"/> Good	<input type="checkbox"/> Unaltered	Cultural/Phase <u>American</u>
<input type="checkbox"/> Fair	<input type="checkbox"/> Original Use	Period _____
<input type="checkbox"/> Deteriorated	<input type="checkbox"/> Restored/Date	
	<input type="checkbox"/> Moved/Date	

NR Classification Category Building Date Listed on NR \_\_\_\_\_

Threats to Site:  
Check one or more

<input type="checkbox"/> Zoning	<input type="checkbox"/> Transportation
<input checked="" type="checkbox"/> Development	<input type="checkbox"/> Fill
<input type="checkbox"/> Deterioration	<input type="checkbox"/> Dredge
<input type="checkbox"/> Borrowing	
<input type="checkbox"/> Other (See Remarks Below)	

Areas of Significance: Architecture

Significance: \_\_\_\_\_

This two story house is indicative of the Prairie School influence in Jacksonville. It is characterized by the use of different materials on the first and second floor. A belt-course between the first and second floors which helps define the horizontality of the building. Most of these houses feature single windows on either side of a small central one and a hip roof with wide, boxed eaves. This house was built by H. F. McAdam for E. V. Richeson in 1922 as a spec house.

SEE SITE FILE STAFF FOR ORIGINAL PHOTO(S) OR MAP(S)



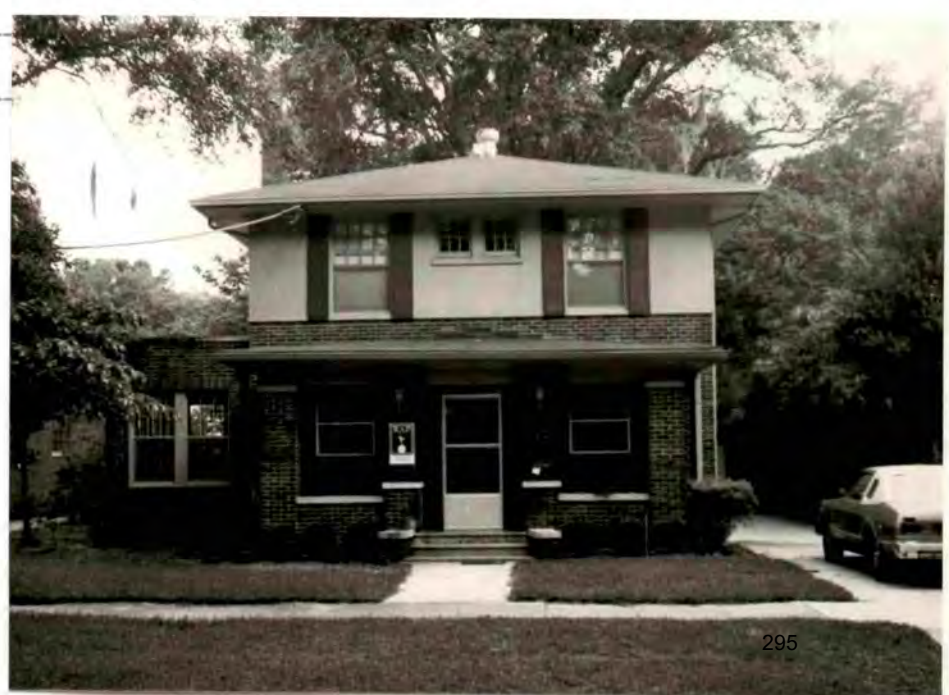
Architect \_\_\_\_\_  
 Builder McRdan, H. F.  
 Style and/or Period Prairie School  
 Plan Type central block with one wing  
 Exterior Fabric brick;running#stucco  
 Structural System(s) masonry;brick  
 Porches NE/3 bay verandah with square brick pillars

Orientation NE  
 Foundation continuous  
 Roof Type hip  
 Secondary Roof Structure(s) hip on porches  
 Roof Surfacing composition shingles  
 Window Type DHS, 12/1, 6/6, wood, paired with shutters#casement, 6 light, wood  
 Ornament Exterior wood  
 Chimney brick  
 Chimney Location SE:erd, interior, lateral slope  
 No. of Chimneys 1 No. of Stories 2  
 No. of Dormers \_\_\_\_\_ Outbuildings 1  
 Surroundings Urban, Residential  
 Map Reference (inc. scale & date) USGS Jacksonville, Fla 7.5 min 1964 (PR 1982)

Latitude and Longitude: \_\_\_\_\_  
 \_\_\_\_\_  
 Site Size (Approx. Acreage of Property) LT 1

Location Sketch or Map	N	Township   Range   Section		
		25   25 E   43		
		UTM Coordinates:		
		Zone	Easting	Northing

Photographic Records Number \_\_\_\_\_  
 Please attach Photographic Print





332

330

326

331













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26 August 2024

To whom it may concern,

On February 21, 2024, a historic window inventory was conducted for the property located at 1464 Avondale Avenue in Jacksonville, Florida by Preservation Advisor and Architectural Historian, Lauren Seaman on behalf of Austin Historical. The purpose of this survey was to survey, photograph, and assess the existing conditions of the structure's existing windows. This survey resulted in the identification of two (2) fixed 6-lite sash and 32 double-hung wood windows of varying sizes and lite configurations. Photographs and measurements were taken as part of this inventory.

The site visit identified wood rot, failing paint, broken or missing sash chords, missing hardware, poorly aligned and ill-fitting sash, and several inconsistencies and irregularities throughout the home. Examples of these inconsistencies and irregularities include, but are not limited to, various types of balance systems, (press-fit pulleys, screw-in pulleys, and jamb liners), different profiles among stops and muntins throughout the home, and various non-historic and retrofit repairs or patches to the sash themselves.

While the lite configuration appears appropriate and consistent with Prairie-style architecture, the details are inconsistent with historic window fabrication. These details include replacement trim, wood glass bead, jamb liners, Phillips head screw-in pulleys, the use of a router to replicate profiles, and the lack of lime-based glazing putty and use of silicone or polyurethane caulk throughout the home. Further, the muntin width throughout the home is unusual for the period of significance associated with the house and many of the houses throughout the neighborhood.

Warm regards,

Lauren Seaman, MHP  
Preservation Advisor



# FETNER/KK FETNER/KK

Quote #: VK45322

A Proposal for Window and Door Products prepared for:

**Job Site:**  
32205

**Shipping Address:**

COASTAL SASH & DOOR INC-JACKSONVILLE  
1495 NORTHWOOD DRIVE  
ST. AUGUSTINE, FL 32084

KOLBE KENNEDY  
COASTAL SASH & DOOR INC-  
JACKSONVILLE  
345 STATE ROAD 207  
SAINT AUGUSTINE, FL 32084-0369  
Phone: (904) 641-0346

Email:  
kolbekennedy@coastalsashanddoor.com

This report was generated on 3/7/2024 12:50:26 PM using the Marvin Order Management System, version 0004.07.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

**Project Description:**

REPLACEMENT WINDOWS, MARVIN ELEVATE, BRONZE EXTERIOR AND WHITE INTERIOR, LOW E3 W/ ARGON, INSULATED GLASS, 7/8" SIMULATED DIVIDED LITE (SDL) STAINLESS PERIMETER AND SPACER BAR, 4 9/16 JAMBS, WHITE HARDWARE, SCREENS

**INSTALLATION IS NOT INCLUDED ON THIS QUOTE**

**½ DEPOSIT DUE BEFORE ORDERING, THE REMAINING AMOUNT DUE UPON DELIVERY**

Featuring products from:



## UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 9

TOTAL UNIT QTY: 31

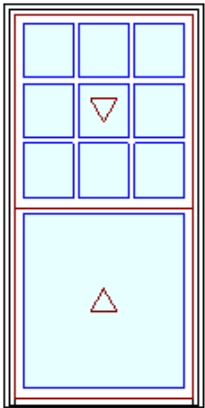
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	DOUBLE LARGE, 1ST & 2ND FL.	Elevate	Double Hung RO 31" X 61 1/2" Entered as FS 30" X 61"	1,145.76	13	14,894.88
2	QUAD LARGE	Elevate	Double Hung RO 31" X 61 1/2" Entered as FS 30" X 61"	1,145.76	4	4,583.04
3	SINGLE LARGE	Elevate	Double Hung RO 31" X 61 1/2" Entered as FS 30" X 61"	1,145.76	3	3,437.28
4	SINGLE SMALL	Elevate	Double Hung RO 30 3/4" X 37 1/2" Entered as FS 29 3/4" X 37"	911.68	2	1,823.36
5	KITCHEN SINK	Elevate	Double Hung RO 30 3/4" X 37 1/2" Entered as FS 29 3/4" X 37"	911.68	2	1,823.36
6	TRIPLE LARGE	Elevate	Double Hung RO 31" X 61 1/2" Entered as FS 30" X 61"	1,145.76	3	3,437.28
7	SINGLE SMALL, 2ND FL.	Elevate	Double Hung RO 31 1/2" X 40 1/2" Entered as FS 30 1/2" X 40"	955.57	1	955.57
8	SINGLE LARGE, 2ND FL.	Elevate	Double Hung RO 40" X 60 1/2" Entered as FS 39" X 60"	1,319.01	2	2,638.02
9	COUNTY TAX	Non-Marvin	Other COUNTY TAX	75.00	1	75.00



## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: DOUBLE LARGE, 1ST & 2ND FL.	Net Price:		1,145.76
Qty: 13		Ext. Net Price:	USD	14,894.88



As Viewed From The Exterior

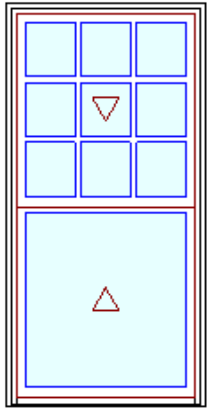
**Entered As:** FS  
**FS** 30" X 61"  
**RO** 31" X 61 1/2"  
**Egress Information**  
 Width: 26 7/8" Height: 25 19/32"  
 Net Clear Opening: 4.78 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.19  
 Visible Light Transmittance: 0.43  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01536-00001  
 ENERGY STAR: SC, S  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Bronze Exterior  
 White Interior  
 Elevate Double Hung  
 Frame Size 30" X 61"  
 Rough Opening 31" X 61 1/2"  
 Glass Add For All Sash  
 Top Sash  
 Bronze Exterior  
 White Interior  
 IG  
 Low E3 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W3H  
 Bronze Ext - White Int  
**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**  
 Bottom Sash  
 Bronze Exterior  
 White Interior  
 IG - 1 Lite  
 Low E3 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 1 White Sash Lock  
 Exterior Aluminum Screen  
 Bronze Surround  
 Bright View Mesh  
 \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jambs  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #2	Mark Unit: QUAD LARGE	Net Price:		1,145.76
Qty: 4		Ext. Net Price:	USD	4,583.04



Bronze Exterior  
 White Interior  
 Elevate Double Hung  
 Frame Size 30" X 61"  
 Rough Opening 31" X 61 1/2"  
 Glass Add For All Sash  
 Top Sash  
 Bronze Exterior  
 White Interior  
 IG  
 Low E3 w/Argon

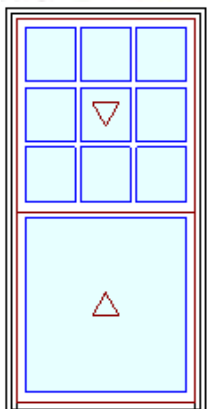


As Viewed From The Exterior

**Entered As:** FS  
**FS** 30" X 61"  
**RO** 31" X 61 1/2"  
**Egress Information**  
 Width: 26 7/8" Height: 25 19/32"  
 Net Clear Opening: 4.78 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.19  
 Visible Light Transmittance: 0.43  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01536-00001  
 ENERGY STAR: SC, S  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W3H  
 Bronze Ext - White Int  
**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**  
 Bottom Sash  
 Bronze Exterior  
 White Interior  
 IG - 1 Lite  
 Low E3 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 1 White Sash Lock  
 Exterior Aluminum Screen  
 Bronze Surround  
 Bright View Mesh  
 \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jamb  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #3	Mark Unit: SINGLE LARGE	Net Price:		1,145.76
Qty: 3		Ext. Net Price:	USD	3,437.28



As Viewed From The Exterior

**Entered As:** FS  
**FS** 30" X 61"  
**RO** 31" X 61 1/2"  
**Egress Information**  
 Width: 26 7/8" Height: 25 19/32"  
 Net Clear Opening: 4.78 SqFt

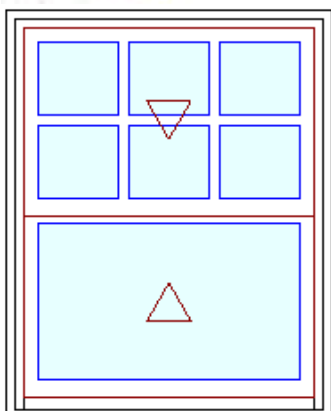
Bronze Exterior  
 White Interior  
 Elevate Double Hung  
 Frame Size 30" X 61"  
 Rough Opening 31" X 61 1/2"  
 Glass Add For All Sash  
 Top Sash  
 Bronze Exterior  
 White Interior  
 IG  
 Low E3 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W3H  
 Bronze Ext - White Int  
**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**  
 Bottom Sash  
 Bronze Exterior  
 White Interior  
 IG - 1 Lite  
 Low E3 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 1 White Sash Lock



**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.19  
 Visible Light Transmittance: 0.43  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01536-00001  
 ENERGY STAR: SC, S  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Exterior Aluminum Screen  
 Bronze Surround  
 Bright View Mesh  
 \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jamb  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #4	Mark Unit: SINGLE SMALL	Net Price:		911.68
Qty: 2		Ext. Net Price:	USD	1,823.36



As Viewed From The Exterior

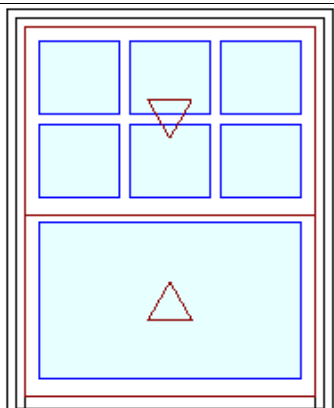
**Entered As:** FS  
**FS** 29 3/4" X 37"  
**RO** 30 3/4" X 37 1/2"  
**Egress Information**  
 Width: 26 5/8" Height: 13 19/32"  
 Net Clear Opening: 2.51 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.19  
 Visible Light Transmittance: 0.43  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01536-00001  
 ENERGY STAR: SC, S  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Bronze Exterior  
 White Interior  
 Elevate Double Hung  
 Frame Size 29 3/4" X 37"  
 Rough Opening 30 3/4" X 37 1/2"  
 Glass Add For All Sash  
 Top Sash  
 Bronze Exterior  
 White Interior  
 IG  
 Low E3 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W2H  
 Bronze Ext - White Int  
**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**  
 Bottom Sash  
 Bronze Exterior  
 White Interior  
 IG - 1 Lite  
 Low E3 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 1 White Sash Lock  
 Exterior Aluminum Screen  
 Bronze Surround  
 Bright View Mesh  
 \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jamb  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #5	Mark Unit: KITCHEN SINK	Net Price:		911.68
Qty: 2		Ext. Net Price:	USD	1,823.36



Bronze Exterior  
 White Interior  
 Elevate Double Hung



As Viewed From The Exterior

**Entered As:** FS  
**FS** 29 3/4" X 37"  
**RO** 30 3/4" X 37 1/2"  
**Egress Information**  
 Width: 26 5/8" Height: 13 19/32"  
 Net Clear Opening: 2.51 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.19  
 Visible Light Transmittance: 0.43  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01536-00001  
 ENERGY STAR: SC, S  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Frame Size 29 3/4" X 37"  
 Rough Opening 30 3/4" X 37 1/2"  
 Glass Add For All Sash  
 Top Sash  
 Bronze Exterior  
 White Interior  
 IG  
 Low E3 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W2H  
 Bronze Ext - White Int

**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**

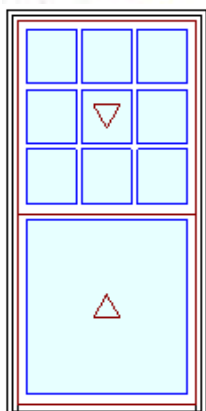
Bottom Sash  
 Bronze Exterior  
 White Interior  
 IG - 1 Lite  
 Low E3 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 1 White Sash Lock  
 Exterior Aluminum Screen  
 Bronze Surround  
 Bright View Mesh  
 \*\*\*Screen/Combo Ship Loose

4 9/16" Jambs  
 Nailing Fin

\*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.

\*\*\*Note: **Unit Availability and Price is Subject to Change**

Line #6	Mark Unit: TRIPLE LARGE	Net Price:		1,145.76
Qty: 3		Ext. Net Price:	USD	3,437.28



As Viewed From The Exterior

**Entered As:** FS  
**FS** 30" X 61"  
**RO** 31" X 61 1/2"  
**Egress Information**  
 Width: 26 7/8" Height: 25 19/32"  
 Net Clear Opening: 4.78 SqFt

Bronze Exterior  
 White Interior  
 Elevate Double Hung  
 Frame Size 30" X 61"  
 Rough Opening 31" X 61 1/2"  
 Glass Add For All Sash  
 Top Sash  
 Bronze Exterior  
 White Interior  
 IG  
 Low E3 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W3H  
 Bronze Ext - White Int

**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**

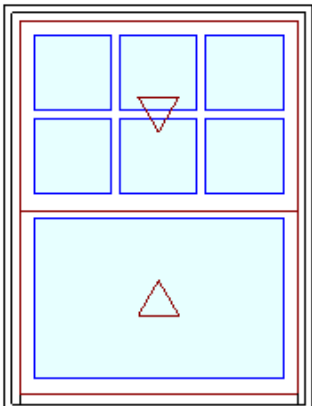
Bottom Sash  
 Bronze Exterior  
 White Interior  
 IG - 1 Lite  
 Low E3 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 1 White Sash Lock



**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.19  
 Visible Light Transmittance: 0.43  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01536-00001  
 ENERGY STAR: SC, S  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Exterior Aluminum Screen  
 Bronze Surround  
 Bright View Mesh  
 \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jamb  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #7	Mark Unit: SINGLE SMALL, 2ND FL.	Net Price:		955.57
Qty: 1		Ext. Net Price:	USD	955.57



As Viewed From The Exterior

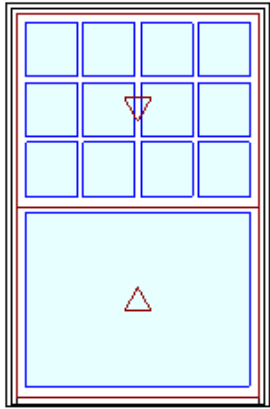
**Entered As:** FS  
**FS** 30 1/2" X 40"  
**RO** 31 1/2" X 40 1/2"  
**Egress Information**  
 Width: 27 3/8" Height: 15 3/32"  
 Net Clear Opening: 2.87 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.19  
 Visible Light Transmittance: 0.43  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01536-00001  
 ENERGY STAR: SC, S  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Bronze Exterior  
 White Interior  
 Elevate Double Hung  
 Frame Size 30 1/2" X 40"  
 Rough Opening 31 1/2" X 40 1/2"  
 Glass Add For All Sash  
 Top Sash  
 Bronze Exterior  
 White Interior  
 IG  
 Low E3 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W2H  
 Bronze Ext - White Int  
**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**  
 Bottom Sash  
 Bronze Exterior  
 White Interior  
 IG - 1 Lite  
 Low E3 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 1 White Sash Lock  
 Exterior Aluminum Screen  
 Bronze Surround  
 Bright View Mesh  
 \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jamb  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #8	Mark Unit: SINGLE LARGE, 2ND FL.	Net Price:		1,319.01
Qty: 2		Ext. Net Price:	USD	2,638.02



Bronze Exterior  
 White Interior  
 Elevate Double Hung



As Viewed From The Exterior

**Entered As:** FS  
**FS** 39" X 60"  
**RO** 40" X 60 1/2"  
**Egress Information**  
 Width: 35 7/8" Height: 25 3/32"  
 Net Clear Opening: 6.25 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.19  
 Visible Light Transmittance: 0.43  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01536-00001  
 ENERGY STAR: SC, S  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Frame Size 39" X 60"  
 Rough Opening 40" X 60 1/2"  
 Glass Add For All Sash  
 Top Sash  
 Bronze Exterior  
 White Interior  
 IG  
 Low E3 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 4W3H  
 Bronze Ext - White Int

**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**

Bottom Sash  
 Bronze Exterior  
 White Interior  
 IG - 1 Lite  
 Low E3 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 1 White Sash Lock  
 Exterior Aluminum Screen  
 Bronze Surround  
 Bright View Mesh  
 \*\*\*Screen/Combo Ship Loose

4 9/16" Jambs  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
**\*\*\*Note: Unit Availability and Price is Subject to Change**

Line #9	Mark Unit: COUNTY TAX	Net Price:		75.00
Qty: 1		Ext. Net Price:	USD	75.00



## TERMS AND CONDITIONS

Please carefully review this proposal. Selections including, but not limited to product type, size, amount, configuration, individual unit and mullion design pressure rating, egress compliance, tempering, hardware, materials and handing have been made based on information provided by customer. Customer assumes responsibility to ensure all selections are appropriate for project. Changes made to this proposal may result in additional pricing.

Proposal pricing is valid for 30 days from date of quote. After this period, prices may vary.

To place this order, please sign, date and return proposal with a check for Project Total Price made payable to Coastal Sash & Door.

Once order is placed, it cannot be cancelled or changed.

If you have any questions, please feel free to contact your Coastal Sash & Door Sales Representative.

## PRODUCT AND PERFORMANCE INFORMATION

### NFRC Ratings:

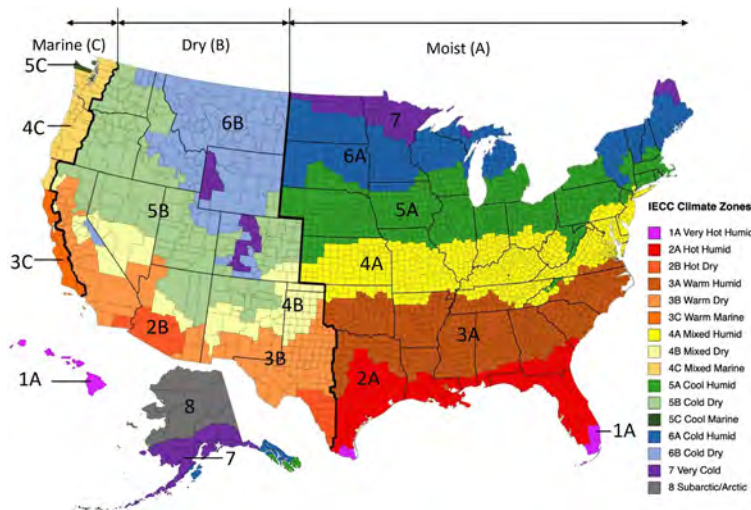
NFRC energy ratings may vary depending on the exact configuration of glass thickness used on the unit. NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements. NFRC values and ratings are finalized on the date of manufacture.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform rating system for the energy performance of fenestration products, including windows, doors and skylights. For additional information regarding this rating system, see [www.nfrc.org](http://www.nfrc.org).

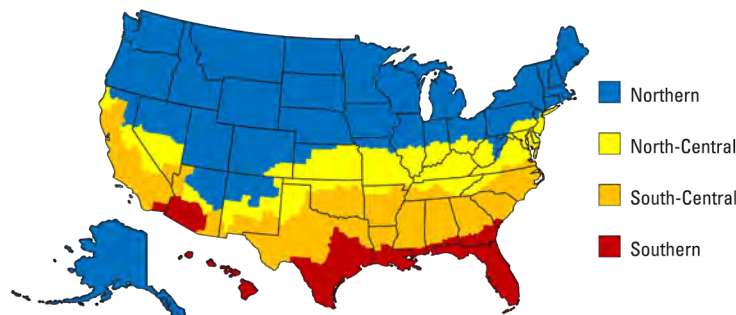
### Code (residential, building or energy) Compliance:

Determining the suitability and compliance with state, provincial, local, or other applicable building codes or standards, including energy codes, is the responsibility of the buyer, user, architect, contractor, installer, and/or other construction professional.

### 2021 IECC Climate Zone Map:



### ENERGY STAR Version 7 Climate Zone Map:





## PURCHASE APPROVAL/SIGN OFF

<b>Project Subtotal Net Price: USD</b>	<b>33,592.79</b>
<b>Non-Taxable Other: USD</b>	<b>75.00</b>
<b>6.000% Sales Tax: USD</b>	<b>2,015.57</b>
<b>Project Total Net Price: USD</b>	<b>35,683.36</b>

I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve the project for order. I acknowledge that additional charges, tax or Terms and Conditions may apply.

**BUYER:**

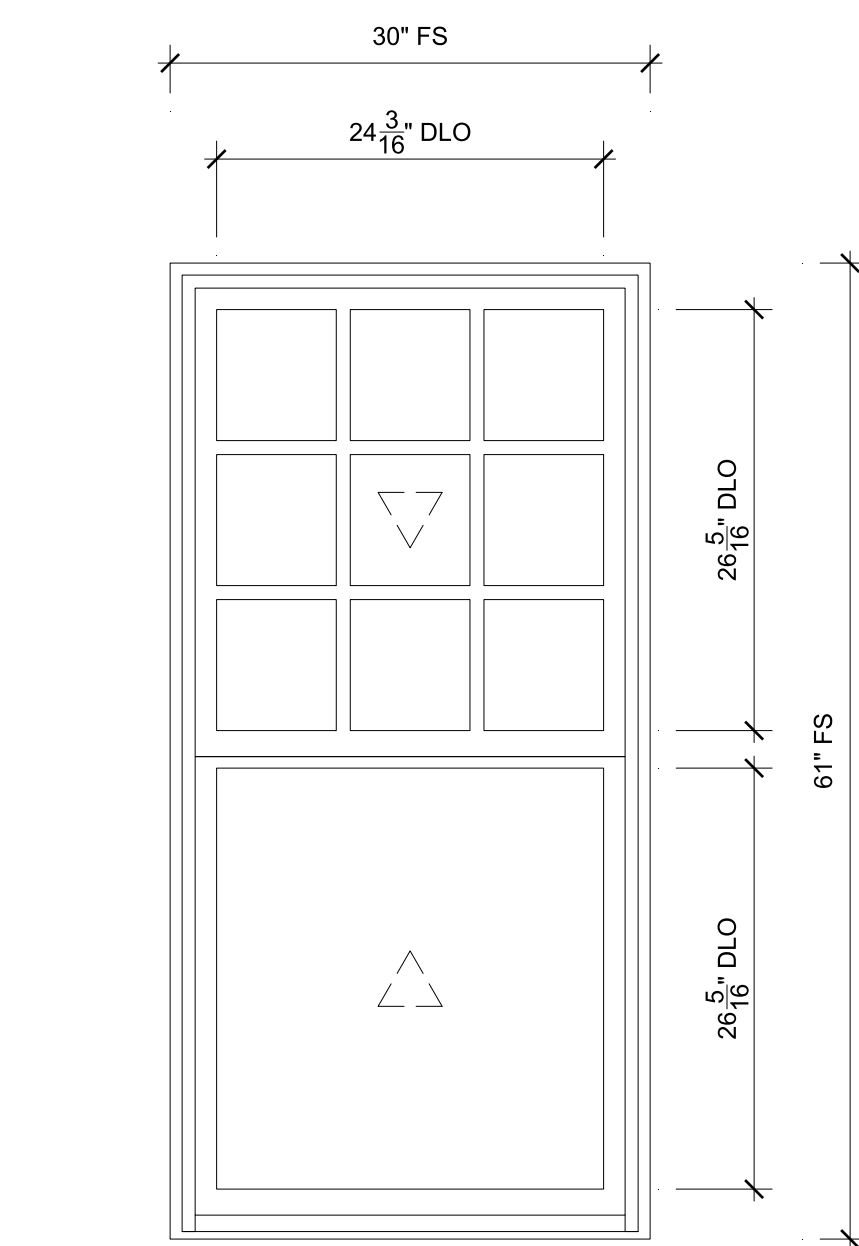
Signature: \_\_\_\_\_

Title: \_\_\_\_\_

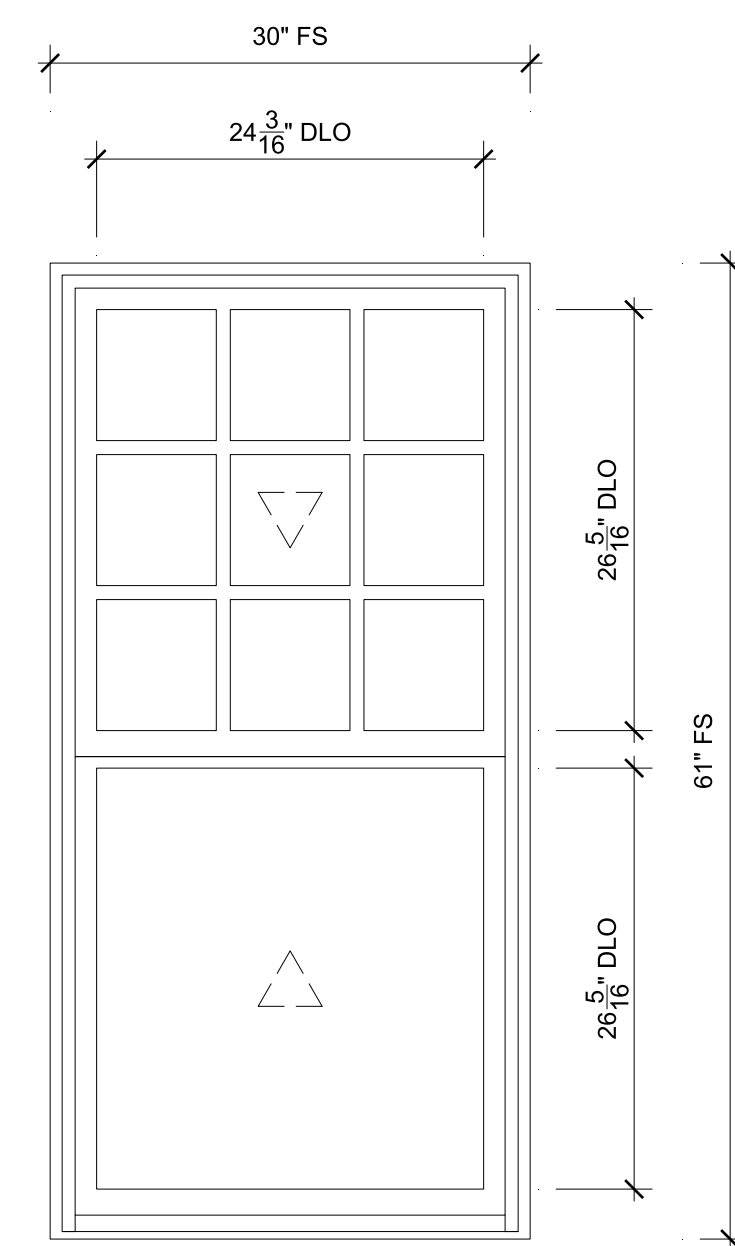
Date: \_\_\_\_\_

Seller: \_\_\_\_\_

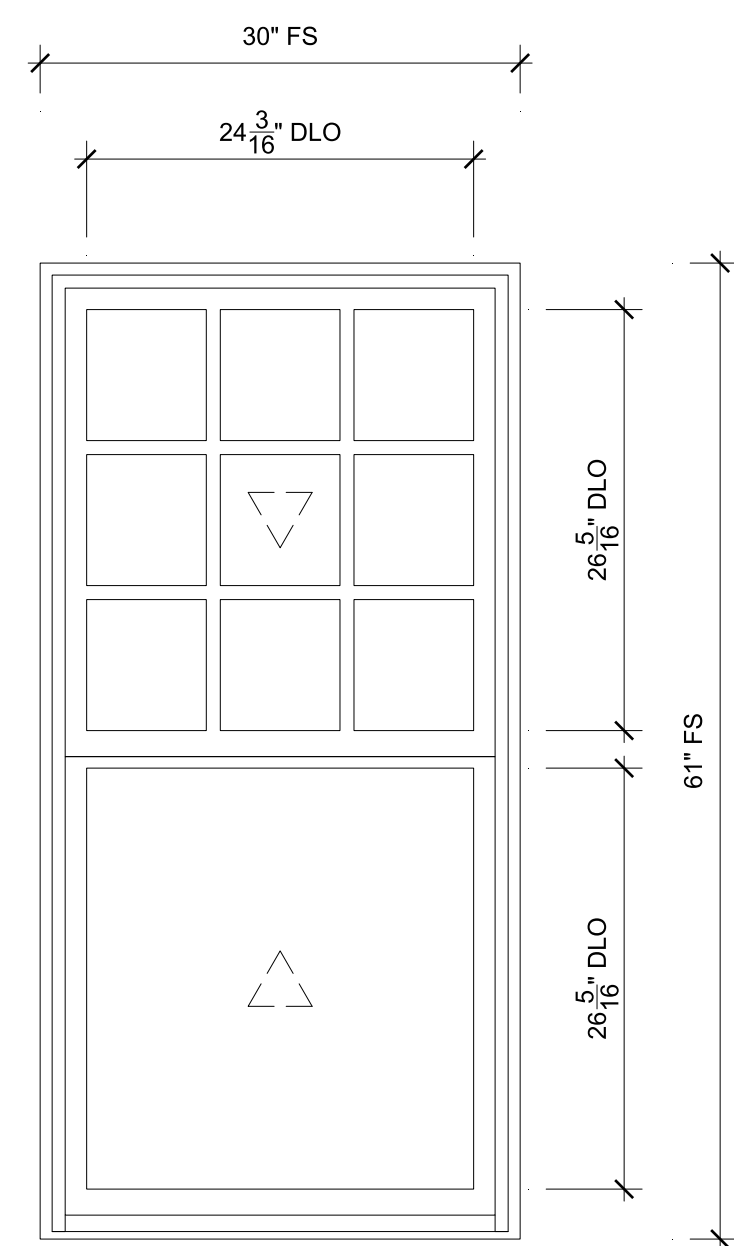
Buyer: \_\_\_\_\_



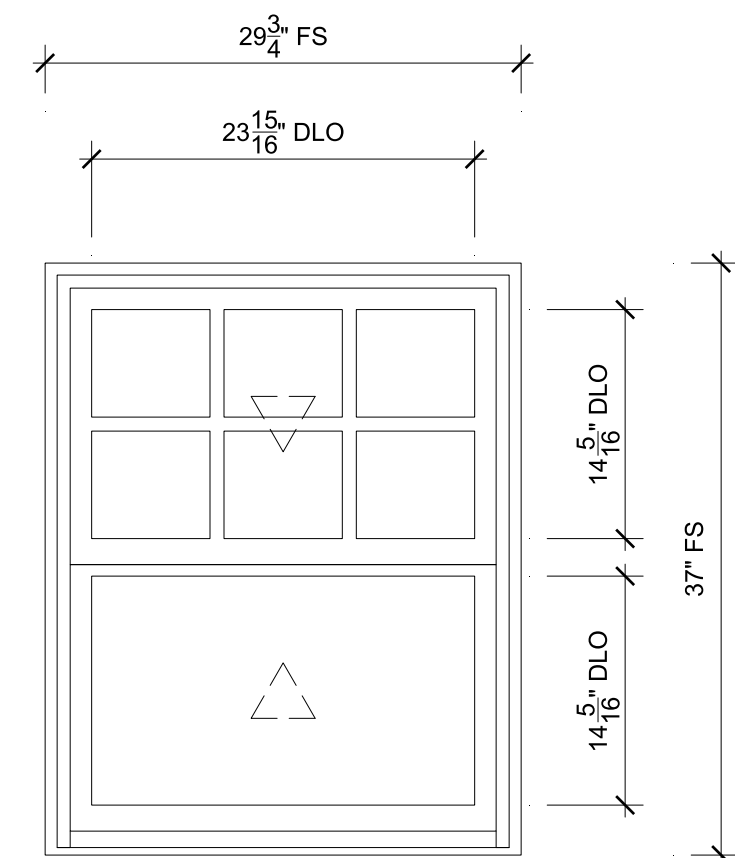
**DOUBLE LARGE, 1ST & 2ND FL.**  
SCALE: 1" = 1'-0"



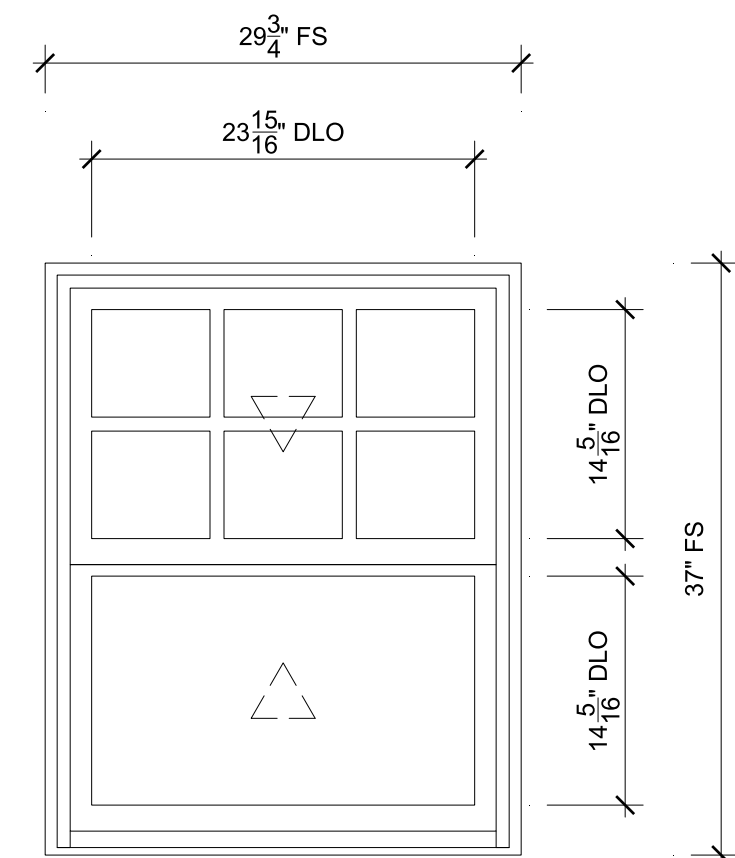
**QUAD LARGE**  
SCALE: 1" = 1'-0"



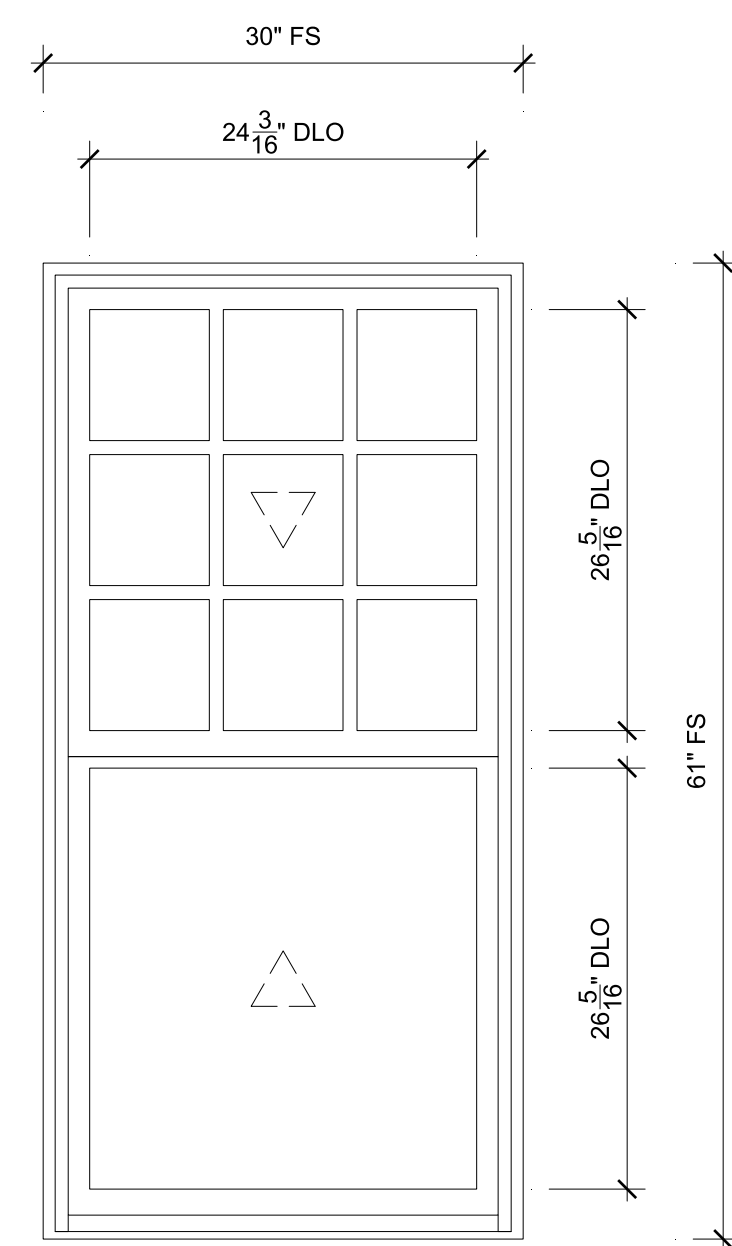
**SINGLE LARGE**  
SCALE: 1" = 1'-0"



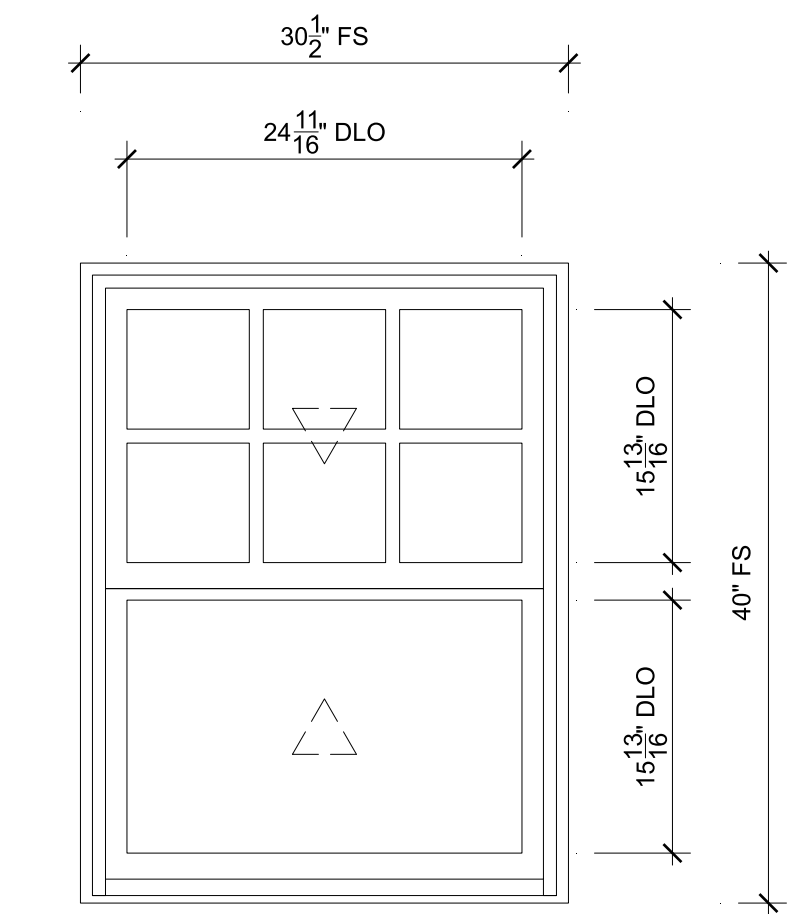
**SINGLE SMALL**  
SCALE: 1" = 1'-0"



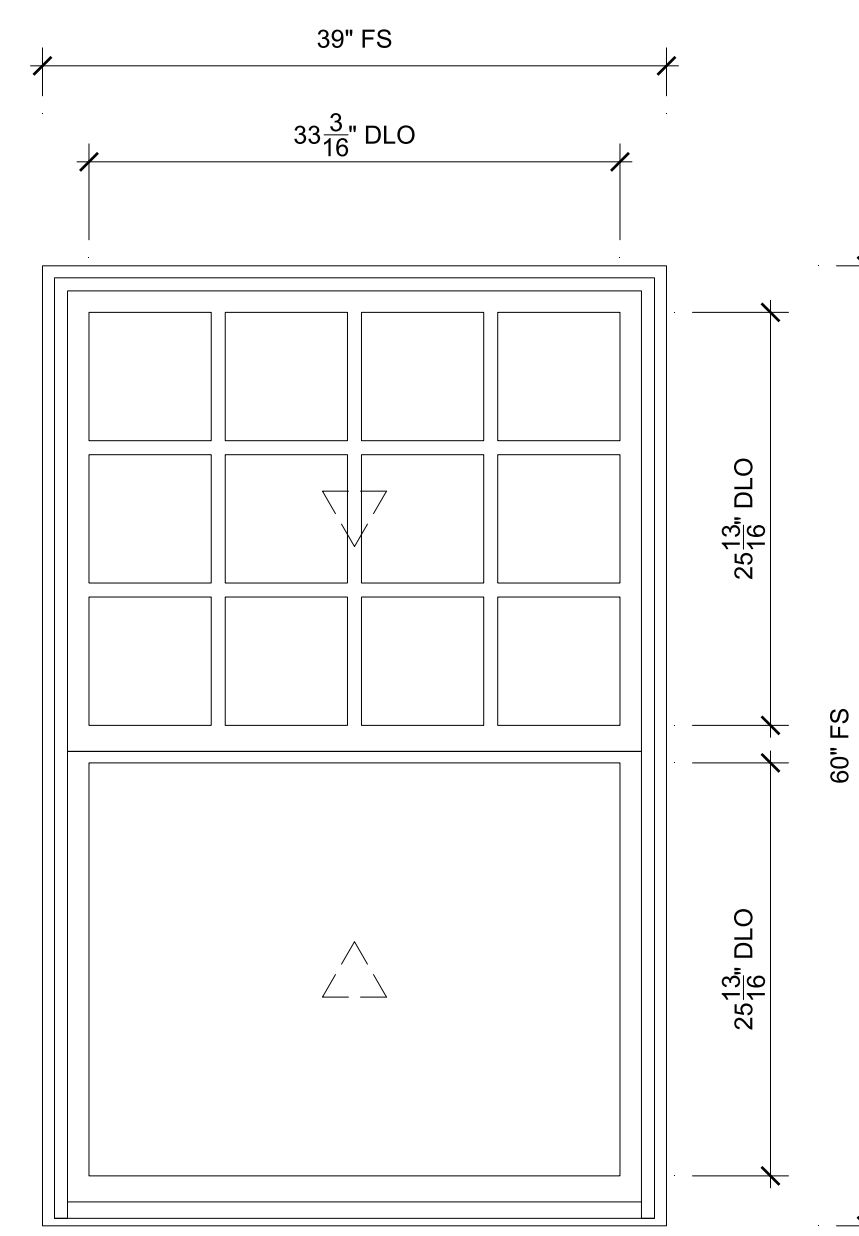
**KITCHEN SINK**  
SCALE: 1" = 1'-0"



**TRIPLE LARGE**  
SCALE: 1" = 1'-0"



**SINGLE SMALL, 2ND FL.**  
SCALE: 1" = 1'-0"



**SINGLE LARGE, 2ND FL.**  
SCALE: 1" = 1'-0"

**ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:**  
Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Department at Marvin Windows & Doors, P.O. Box 100, Grand Rapids, Michigan 49503. The purchaser must also return a copy of these drawings to the approved shop drawings. Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

PROJ/JOB: FETNER/KK / FETNER/KK  
 DIST/DEALER: COASTAL SASH & DOOR INC  
 DRAWN: KOLBE KENNEDY  
 QUOTE#: YK45322  
 PK VERSION: 0004.07.00  
 CREATED: 03/07/2024  
 REVISION:



**COA-24-30820**

**2142 College  
Street**

**August 28, 2024**

**Report of the Jacksonville Planning and Development Department**  
**Certificate of Appropriateness Application COA-24-30820**

**Address:** 2142 College Street, RE# 091114-0000

**Location:** South side of College Street, between Copeland Street and Goodwin Street

**Owner:** Jennifer Botterbusch  
2142 College Street, LLC  
1217 Cape Coral Parkway East, #101  
Cape Coral, Florida 33904

**Applicant:** Same as Owner

**Year Built:** c. 1947 (*Property Appraiser*)

**Designation:** Riverside Avondale, Non-Contributing

**Request:** Alteration – Paint Unpainted Masonry

**Summary Scope of Work:**

1. Painting a brick structure

**Recommendation:** Deny





## **PROJECT DESCRIPTION**

COA-24-30820 seeks to paint a two-story, non-contributing brick structure in the Riverside Avondale Historic District. Located on an interior lot, the subject property consists of a two-story, Masonry Vernacular style multi-family structure characterized by its red brick exterior, shingled hip roof, and covered front porch entrance. Painting this structure's brick would cause the most notable character defining feature to be fully concealed.

## **STAFF SUMMARY AND ANALYSIS**

Staff considered the applicable Design Guidelines for the Historic District and the Ordinance Code criteria found in Sections 307.106(k), 307.106(l), 307.106(m), 307.106(n), and 307.106(o). The following is Staff's analysis:

- Staff requested on July 31, 2024, to schedule a site visit to inspect the condition of the brick. The applicant stated they have not attempted repairs and Staff could take pictures from the sidewalk to not disturb the six (6) tenants residing on the property. The impact of painting a brick structure instead of repointing the mortar and performing routine maintenance affects the whole block and diminishes the historic appearance of these historic brick structures within the District. Therefore, the painting of this healthy brick structure is inconsistent with Sections 307.106(k)(2-3) and 307.106(l)(1, 2 and 5).
- The applicant followed-up with Staff by emailing additional exterior pictures. From the applicant's provided pictures, Staff assessed the brick and determined it to be in great condition with some small areas potentially needing repointing. The Historic District Design Guidelines specify the methods of repairing brick to prevent deterioration, where painting a brick structure is a last resort to prevent the further deterioration of a heavily damaged brick structure. Specifically, the Design Guidelines state, "Evaluate the overall condition of the masonry to determine whether repairs rather than protection and maintenance are required." The applicant has not provided any evidence that they treated the brick for deterioration, repointed the mortar, or implemented other protective measures. Therefore, with no evidence this brick has physical damage or chemical damage, painting of the brick is inconsistent with the Historic District Design Guidelines as well as Sections 307.106(k)(1 and 4) and 307.106(l)(3, 6 and 7).
- Staff recommends the submission of a new COA to repoint and clean the masonry, which can be approved administratively. The NPS Preservation Briefs also include detailed steps for cleaning, protective treatments, and repointing mortar which will be helpful in preserving this brick structure.

For these reasons, it is the position of the Planning and Development Department that the proposed work is inconsistent with:

- Section 307.106(k) General Standards: 1, 2, 3, and 4
- Section 307.106(l) Guidelines on "Alterations": 1, 2, 3, 5, 6, and 7
- Historic District Design Guidelines, Section on "Exterior Fabric - Masonry"
- National Park Service, Preservation Briefs: 1 and 2

## **CODE CRITERIA AND DESIGN GUIDELINES**

### **General Criteria**

- 307.106(k)(1) - The effect of the proposed work on the landmark, landmark site or property within an historic district upon which such work is to be done;
- 307.106(k)(2) - The relationship between such work and other structures on the landmark site or other property in the historic district;
- 307.106(k)(3) - The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected;
- 307.106(k)(4) - Whether the plans may be carried out by the applicant within a reasonable period of time.

### **Alterations**

- 307.106(l)(1) - Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building structure, or site.
- 307.106(l)(2) - The distinguishing original qualities or character of a building, structure, or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- 307.106(l)(3) - Each building, structure, and site shall be recognized as a product of its own time. An alteration which has no historical basis and which seeks to create an earlier appearance shall be discouraged.
- 307.106(l)(5) - Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site, shall be treated with sensitivity.
- 307.106(l)(6) - Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. However, technologically advanced materials shall be considered and used as replacement alternatives. Repair or replacement of missing architectural features shall be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.



- 307.106(l)(7) - The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall be not undertaken.

#### **Historic District Design Guidelines, “Exterior Fabric - Masonry”**

- Secretary of the Interior’s Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Secretary of the Interior’s Standard 3: Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings shall not be undertaken.
- Secretary of the Interior’s Standard 5: Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- Secretary of the Interior’s Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials.
- Secretary of the Interior’s Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used the surface leaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- Exterior Fabric - Masonry, Recommendation #1: “Identify, retain, and preserved masonry features that are important to defining the overall historical character of the building such as walls, brackets, railings, cornices, window architraves, door pediments, steps, and columns; and joint and unit size, tooling, and bonding patterns, coatings and color.”
- Exterior Fabric - Masonry, Recommendation #2: “Protect and maintain masonry by providing proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved decorative features.”
- Exterior Fabric - Masonry, Recommendation #3: “Evaluate and treat the various causes of mortar joint deterioration such as leaking roofs or gutters, differential settlement of the building, capillary action or extreme weather exposure.”
- Exterior Fabric - Masonry, Recommendation #4: “Evaluate the overall condition of the masonry to determine whether repairs rather than protection and maintenance are required.”

- Exterior Fabric - Masonry, Avoid #1: “Removing or substantially altering masonry features which are important in defining the overall historical character of the building so that as a result the character is diminished.”
- Exterior Fabric - Masonry, Avoid #2: “Replacing or rebuilding major portions of exterior walls that could be repaired and that would make the building essentially new construction.”

#### **National Park Service, Preservation Briefs**

- National Park Service Preservation Brief #1: *Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings*
  - “The purpose of this Brief is to provide information on the variety of cleaning methods and materials that are available for use on the exterior of historic masonry buildings, and for providing guidance in selecting the most appropriate method or combination of methods.”
- National Park Service Preservation Brief #2: *Repointing Mortar Joints in Historic Masonry Buildings*
  - “The purpose of this Brief is to provide general guidance on appropriate materials and methods for repointing historic masonry buildings and it is intended to benefit the owners, architects, and contractors.”





PICTURE OF POSTED SIGN





# Application For Certificate Of Appropriateness

## Application Info

<b>Tracking #</b>	30820	<b>Application Status</b>	FOUND SUFFICIENT
<b>Date Started</b>	05/22/2024	<b>Date Submitted</b>	05/22/2024

## Planning and Development Department Info

<b>COA #</b>	COA-24-30820
<b>Admin Review</b>	<input checked="" type="checkbox"/>
<b>Admin Recommendation</b>	FORWARD
<b>Admin Date Of Action</b>	7/30/2024
<b>Forwarded to JHPC</b>	<input checked="" type="checkbox"/>
<b>JHPC Meeting Date</b>	8/28/2024
<b>Staff Recommendation</b>	N/A
<b>JHPC Recommendation</b>	N/A
<b>JHPC Date Of Action</b>	N/A
<b>Admin Details</b>	N/A
<b>JHPC Details</b>	N/A

## General Information On Applicant

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
BOTTERBUSCH	JENNIFER	
<b>Company Name</b>		
<b>Mailing Address</b>		
1217 CAPE CORAL PKWY E #101		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
CAPECORAL	FL	33904
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
904 962 6834	904	JKBOTTERBUSCH@GMAIL.COM

## General Information On Owner(s)

Agent represents  Owner  Contractor  Architect  Consultant  Other

<b>Last Name</b>	<b>First Name</b>	<b>Middle Name</b>
BOTTERBUSCH	JENNIFER	
<b>Company/Trust Name</b>		
2142 COLLEGE STREET, LLC		
<b>Mailing Address</b>		
1217 CAPE CORAL PKWY E #101		
<b>City</b>	<b>State</b>	<b>Zip Code</b>
CAPECORAL	FL	33904
<b>Phone</b>	<b>Fax</b>	<b>Email</b>
9049626834	904	JKBOTTERBUSCH@GMAIL.COM

## Description Of Property

**Property Appraiser's RE #(s)** (10 digit number with a space ##### #####)

Map	RE#
	091114 0000

--	--

### Location Of Property

#### General Location

Riverside/Avondale Historic District

#### House #

2142

#### Street Name, Type and Direction

COLLEGE ST

#### Zip Code

32204

### Type Of Improvement

- Addition    Driveway    New Construction    Accessory Structures  
 Alteration    Relocation    Window Replacement    Other  
 Fencing    Demolition    Reroof/Minor Repairs

Describe proposed work below. Note affected features and changes in design or materials. Be as specific, brief, and legible as possible.

(Example: reroof; replacing gray 3-tab shingles with black architectural shingles).

#### Proposed Work

PAINT THE EXTERIOR BRICK

### Addition Information

Is this a violation? Check the box if it is.

If you have been working with a planner choose one from the list

### Additional Documents Provided

	Description
<input checked="" type="checkbox"/>	PHOTO OF BUILDING
<input checked="" type="checkbox"/>	BUILDING PIC 1
<input checked="" type="checkbox"/>	BUILDING PIC 2
<input checked="" type="checkbox"/>	BUILDING PIC 3
<input checked="" type="checkbox"/>	BUILDING PIC 4
<input checked="" type="checkbox"/>	BUILDING PIC 5
<input checked="" type="checkbox"/>	BUILDING PIC 6
<input checked="" type="checkbox"/>	BUILDING PIC 7
<input checked="" type="checkbox"/>	BUILDING PIC 7
<input checked="" type="checkbox"/>	BUILDING PIC 8
<input checked="" type="checkbox"/>	BUILDING PIC 9
<input checked="" type="checkbox"/>	BUILDING PIC 10
<input checked="" type="checkbox"/>	BUILDING PIC 11
<input checked="" type="checkbox"/>	BUILDING PIC 12
<input checked="" type="checkbox"/>	BUILDING PIC 13



## Application Certification

For applications that can be approved administratively, there is no application fee.

For all applications that must go before the Historic Preservation Commission, a fee will be applied based on the type of work performed.

Application completeness review: All applications for Certificate of Appropriateness ("Application") will be reviewed for completeness by Planning and Development Department Staff. Any Application determined to be incomplete, will be returned to the applicant with comments detailing the deficiencies. No further action on the Application will take place until the application deficiencies are addressed. Once the Application is determined to be complete, Planning and Development Department Staff will prepare an invoice for the cost of the Application.

Payment deadline: The Invoice must be paid by the payment deadline in order to have the Application heard on the next scheduled Jacksonville Historic Preservation Commission (JHPC) regular meeting. The payment deadline is outlined on the City of Jacksonville's Planning and Development Department Website. Only Complete Applications will be invoiced. It is for the benefit of the applicant to supply staff with a complete Application in advance of the payment deadline. Due to the complexity and volume of Applications received by the Planning and Development Department, there is no guarantee that COA Applications submitted on the day of the payment deadline will be heard at the next regular meeting of the JHPC.

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

I UNDERSTAND THE ABOVE DISCLAIMER REGARDING APPLICATION REVIEW. AGREED TO AND SUBMITTED.

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of property will prompt the removal of all exemptions, assessment caps and special classifications.

**2142 COLLEGE STREET LLC**   
 1217 CAPE CORAL PKWY E UNIT 101  
 CAPE CORAL, FL 33904

**Primary Site Address**  
 2142 COLLEGE ST  
 Jacksonville FL 32204-

**Official Record Book/Page**  
 16610-01390

**Tile #**  
 6422

**2142 COLLEGE ST**  
 Property Detail

<b>RE #</b>	091114-0000
<b>Tax District</b>	USD1
<b>Property Use</b>	0800 Multi-Family Units 2-9
<b># of Buildings</b>	2
<b>Legal Desc.</b>	For full legal description see Land & Legal section below
<b>Subdivision</b>	01578 RIVERSIDE
<b>Total Area</b>	5704
<b>Characteristics</b>	<a href="#">Historic Designation</a>

Value Summary

Value Description	2023 Certified	2024 In Progress
<b>Value Method</b>	Gross Rent Multiplier	Gross Rent Multiplier
<b>Total Building Value</b>	\$307,683.00	\$326,934.00
<b>Extra Feature Value</b>	\$0.00	\$0.00
<b>Land Value (Market)</b>	\$125,400.00	\$127,680.00
<b>Land Value (Agric.)</b>	\$0.00	\$0.00
<b>Just (Market) Value</b>	\$665,353.00	\$665,353.00
<b>Assessed Value</b>	\$421,654.00	\$463,819.00
<b>Cap Diff/Portability Amt</b>	\$243,699.00 / \$0.00	\$201,534.00 / \$0.00
<b>Exemptions</b>	\$0.00	See below
<b>Taxable Value</b>	\$421,654.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification [Learn how the Property Appraiser's Office values property.](#)

**Taxable Values and Exemptions – In Progress** 

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value No applicable exemptions	SJRWMD/FIND Taxable Value No applicable exemptions	School Taxable Value No applicable exemptions
--	---	--

**Sales History** 

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
<a href="#">16610-01390</a>	11/18/2013	\$185,000.00	MS - Miscellaneous	Qualified	Improved
<a href="#">15337-00984</a>	8/11/2010	\$100.00	MS - Miscellaneous	Unqualified	Improved
<a href="#">13502-02314</a>	8/22/2006	\$100.00	QC - Quit Claim	Unqualified	Improved
<a href="#">03653-00868</a>	1/21/1974	\$32,966.00	WD - Warranty Deed	Unqualified	Improved

**Extra Features** 

No data found for this section

**Land & Legal** 

Land

LN	Code	Use Description	Zoning Assessment	Front	Depth	Category	Land Units	Land Type	Land Value
1	0101	RES MD 8-19 UNITS PER AC	RMD-B	48.00	118.00	Common	48.00	Front Footage	\$127,680.00

Legal

LN	Legal Description
1	2-24 56-2S-26E .129
2	RIVERSIDE
3	W 48FT LOT 10 BLK 77

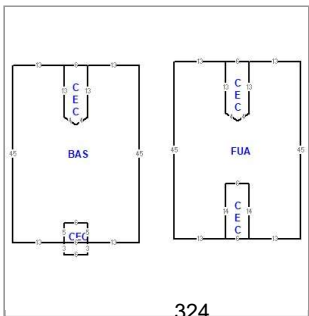
**Buildings** 

Building 1  
 Building 1 Site Address  
 2142 COLLEGE ST Unit  
 Jacksonville FL 32204-

<b>Building Type</b>	0803 - QUADRUPLEX
<b>Year Built</b>	1947
<b>Building Value</b>	\$261,298.00

Type	Gross Area	Heated Area	Effective Area
Base Area	1326	1326	1326

Element	Code	Detail
Exterior Wall	19	19 Common Brick
Roof Struct	3	3 Gable or Hip
Roofing Cover	3	3 Asph/Comp Shng
Interior Wall	3	3 Plastered
Int Flooring	11	11 Cer Clay Tile
Int Flooring	12	12 Hardwood
Heating Fuel	4	4 Electric
Heating Type	4	4 Forced-Ducted





Common Entry Corridor	84	0	80
Finished upper story 1	1272	1272	1208
Common Entry Corridor	84	0	80
Finished Open Porch	18	0	5
Common Entry Corridor	30	0	28
Common Entry Corridor	84	0	80
Total	2898	2598	2807

Air Cond	3	3 Central
----------	---	-----------

Element	Code	Detail
Stories	2.000	
Bedrooms	4.000	
Baths	4.000	
Rooms / Units	4.000	

**2023 Notice of Proposed Property Taxes Notice (TRIM Notice)**

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
Gen Govt Ex B&B	\$421,654.00	\$0.00	\$421,654.00	\$4,338.02	\$4,771.82	\$4,362.22
Urban Service Dist1	\$421,654.00	\$0.00	\$421,654.00	\$0.00	\$0.00	\$0.00
Public Schools: By State Law	\$699,205.00	\$0.00	\$699,205.00	\$1,591.70	\$2,225.57	\$2,051.61
By Local Board	\$699,205.00	\$0.00	\$699,205.00	\$1,105.73	\$1,571.81	\$1,425.26
FL Inland Navigation Dist.	\$421,654.00	\$0.00	\$421,654.00	\$12.27	\$12.14	\$12.14
Water Mgmt Dist. SJRWMD	\$421,654.00	\$0.00	\$421,654.00	\$75.67	\$75.60	\$75.60
School Board Voted	\$699,205.00	\$0.00	\$699,205.00	\$0.00	\$699.21	\$0.00
Urb Ser Dist1 Voted	\$421,654.00	\$0.00	\$421,654.00	\$0.00	\$0.00	\$0.00
			Totals	\$7,123.39	\$9,356.15	\$7,926.83

Description	Just Value	Assessed Value	Exemptions	Taxable Value
<b>Last Year</b>	\$491,872.00	\$383,322.00	\$0.00	\$383,322.00
<b>Current Year</b>	\$699,205.00	\$421,654.00	\$0.00	\$421,654.00

**2023 TRIM Property Record Card (PRC)**

This PRC reflects property details and values at the time of the original mailing of the Notices of Proposed Property Taxes (TRIM Notices) in August.

**Property Record Card (PRC)**

The PRC accessed below reflects property details and values at the time of Tax Roll Certification in October of the year listed.

- [2023](#)
- [2022](#)
- [2021](#)
- [2020](#)
- [2019](#)
- [2018](#)
- [2017](#)
- [2016](#)
- [2015](#)
- [2014](#)

- To obtain a historic Property Record Card (PRC) from the Property Appraiser's Office, submit your request here: 

**More Information**

[Contact Us](#) | [Parcel Tax Record](#) | [GIS Map](#) | [Map this property on Google Maps](#) | [City Fees Record](#)





# City of Jacksonville, Florida

## Planning and Development Department

Community Planning Division  
214 North Hogan Street, Suite 300  
Jacksonville, FL 32202  
(904) 255-7800  
www.coj.net

ONE CITY. ONE JACKSONVILLE.

### NOTICE OF PUBLIC HEARING SIGN POSTING AFFIDAVIT FOR APPLICATION FORWARDED TO THE JACKSONVILLE HISTORIC PRESERVATION COMMISSION

Date: 7-31-2024

COA#: 24-30820

Address: 2142 College St.  
Jax. FL 32204

Owner: 2142 COLLEGE ST LLC  
Jennifer Botterbusch

MAILING ADDRESS:  
1217 Cape Coral Pkwy E #101  
CAPE CORAL, FL 33904

As required by Sec. 307.106.(f) of the City of Jacksonville Ordinance Code: The applicant for a certificate of appropriateness shall post signs at intervals of not more than 200 feet along all street sides of land upon which the request for a certificate of appropriateness is made. Signage should be posted at least 14 days prior to the scheduled public hearing. Where the land does not have frontage on a public street, the signs shall be erected on the nearest street right-of-way with an attached notation indicating generally the direction and distance to the land upon which the application for a certificate of appropriateness has been filed, or at such other locations and at such intervals, as determined by the Planning and Development Department, as will ensure that the signs will be seen by as many persons as possible. The signs shall be maintained by the applicant until a final determination has been made by the Commission on the application for a certificate of appropriateness. If the signs are not posted within the time requirements, the public hearing notice will be deemed inadequate and no action shall be taken until proper posting is accomplished. The signs shall be removed by the applicant within ten days after final action.

I hereby attest that the attached pictures show the NOTICE OF PUBLIC HEARING SIGNS

provided to me for application COA 24-30820 were posted on the property/site located at:

091114-0000  
Real Estate Number(s)

2142 College St.  
Street Address  
Jax. FL 32204  
City, State Zip Code

Printed Name JENNIFER BOTTERBUSCH

Signature Jennifer Botterbusch

Dated this 31 day of July, 2024.





2142





2142





RT  
3301C





















Goodman















**From:** [Jennifer Botterbusch](#)  
**To:** [Figueroa, Brittany - PDCM](#)  
**Subject:** Re: COA Tracking #30820 2142 College St  
**Date:** Wednesday, July 31, 2024 10:30:00 AM

---

**EXTERNAL EMAIL:** This email originated from a non-COJ email address. Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Hi Brittany,

We have not attempted any repairs on the brick and mortar, as we want to know the options available to us before we begin any investments. We have 6 tenants residing in the property and do not want to disturb them unnecessarily. You are welcome to take pictures from the sidewalk; we are headed over there today and will send you pictures of all four sides.

Can you provide me the Design Guidelines you referenced in your earlier email?

Thank you,  
Jennifer

On Wed, Jul 31, 2024 at 8:29 AM Figueroa, Brittany - PDCM <[BFigueroa@coj.net](mailto:BFigueroa@coj.net)> wrote:

Hello, just wanted to follow-up on my previous email.

Could you please let me know if any repair attempts have been made to the brick and mortar? We would like to know if we can conduct a site visit to view the brick and mortar, and take pictures of the outside of the structure? I will be out of the office later this week and I know you are in town until Friday, so we wouldn't be able to do the site visit until next week. One option is you can reply to this email and give us permission to step-on the property just to go around all sides of the building and we can coordinate a day and time with you. If you are uncomfortable with that option, we can just take some pictures from the sidewalk. Please let me know which option is best for you.

Thank you,

**Brittany Figueroa, MSP, MPA**

*City Planner II*

Historic Preservation Section

Planning and Development Department

214 North Hogan Street, 3<sup>rd</sup> Floor



***H.***

***Certificates of  
Appropriateness***

***Work Initiated or  
Completed without a  
COA***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



***I.***

***Appeal of  
Administratively  
Approved COA's***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



**J.**

***Minor  
Modifications***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



***K.***

***Public  
Comments***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



***L.***

***New  
Business***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



# ***M.***

# ***Information***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



# **Springfield Midcentury Survey Update**



# **2025 JHPC Planning**



# **Pending Legislation**





A NEW DAY.

# City of Jacksonville, Florida

*Donna Deegan, Mayor*

Planning and Development Department

214 North Hogan Street

Jacksonville, FL 32202

(904) 255-7800

[www.jacksonville.gov](http://www.jacksonville.gov)

## MEMORANDUM

**TO:** Chairperson and Members  
Jacksonville Historic Preservation Commission

**FROM:** Arimus T. Wells, City Planner Supervisor  
Community Planning Division, Historic Preservation Section

**SUBJECT:** Historic Preservation Legislation

**DATE:** September 25, 2024

---

Final action on the following historic preservation items have taken place since the last Commission meeting. Please see the attached bill summaries for more details:

- N/A

The following historic preservation items are pending legislative action from City Council. Please see the attached bill summaries for more details:

- **Ordinance 2023-0876** – The bill appropriates \$22 million from the General Fund-GSD Fund Balance to fund a Participation Loan for the Laura Street Trio project subject to the terms of a redevelopment agreement.
- **Ordinance 2024-0770** – The bill designates a cemetery at 538 Ellis Road South as a local landmark site. (LUZ: 11/5/24 PH)
- **Ordinance 2024-0771** – The bill designates a nonresidential building at 801 North Jefferson Street as a local landmark. (LUZ: 11/5/24 PH)
- **Ordinance 2024-0772** – The bill designates a nonresidential building at 821 North Jefferson Street as a local landmark. (LUZ: 11/5/24 PH)



# **Public Works Improvement Projects**



***N.***

***Old***

***Business***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



***O.***

***Design  
Issues***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



# **Reroofs and Florida Building Code**



***P.***

***Addendum***



JACKSONVILLE HISTORIC PRESERVATION COMMISSION



**Q.**

# **Adjournment**



JACKSONVILLE HISTORIC PRESERVATION COMMISSION